

*Randal Park Community  
Development District*

*Agenda*

*July 17, 2020*

# AGENDA

# *Randal Park*

## *Community Development District*

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219 E. Livingston Street, Orlando, Florida 32801  
Phone: 407-841-5524 – Fax: 407-839-1526

July 10, 2020

**Board of Supervisors  
Randal Park Community  
Development District**

Dear Board Members:

The Board of Supervisors of Randal Park Community Development District will meet **Friday, July 17, 2020 at 9:30 AM via Zoom: <https://zoom.us/j/99555872860>**. Following is the advance agenda for the meeting:

1. Roll Call
2. Public Comment Period (Speakers will fill out a card and submit it to the District Manager prior to the beginning of the meeting)
3. Approval of Minutes of the June 19, 2020 Meeting
4. Engineer's Report
5. Discussion of Cell Tower Update
6. Staff Reports
  - A. Attorney
  - B. District Manager's Report
    - i. Approval of Check Register
    - ii. Balance Sheet and Income Statement
    - iii. Field Manager's Report
    - iv. Amenity Report
7. Supervisor's Requests
8. Other Business
9. Next Meeting Date
10. Adjournment

The second order of business is the Public Comment Period where the public has an opportunity to be heard on propositions coming before the Board as reflected on the agenda, and any other items. Speakers must fill out a Request to Speak form and submit it to the District Manager prior to the beginning of the meeting.

The third order of business is the approval of the minutes of the June 19, 2020 meeting. The minutes are enclosed for your review.

The fourth order of business is the Engineer's Report.

The fifth order of business is the discussion updating the status of the cell tower construction. A copy of the approved plans are enclosed for your review.

Section B of the sixth order of business is the District Manager's Report. Section 1 includes the check register for approval and Section 2 includes the balance sheet and income statement for review. Section 3 is the presentation of the Field Manager's Report that contains the details of the field issues going on in the community and Section 4 is the presentation of the Amenity Report detailing the activities going on in the community.

The balance of the agenda will be discussed at the meeting. In the meantime, if you have any questions, please contact me.

Sincerely,



Jason M. Showe  
District Manager

CC: Jan Carpenter, District Counsel  
James Hoffman, District Engineer  
Marcia Calleja, Amenity Manager  
Alexandra Penagos, Community Manager  
Darrin Mossing, GMS

Enclosures

# MINUTES

MINUTES OF MEETING  
RANDAL PARK  
COMMUNITY DEVELOPMENT DISTRICT

The regular meeting of the Board of Supervisors of the Randal Park Community Development District was held Friday, June 19, 2020 at 9:30 a.m. via Zoom.

Present and constituting a quorum were:

Keith Trace	Chairman
Charles “Chuck” Bell	Vice Chairman
Thomas Franklin	Assistant Secretary
Katie Steuck	Assistant Secretary
Stephanie Cornelius	Assistant Secretary

Also present were:

Jason Showe	District Manager
Kristen Trucco	District Counsel
James Hoffman	District Engineer
William Viasalyers	Field Manager
Marcia Calleja	Amenity Manager
Alexandra Penagos	Community Manager

**FIRST ORDER OF BUSINESS**

**Roll Call**

Mr. Showe called the meeting to order and called the roll and stated this meeting is being held pursuant to the governor’s executive order no. 20-52 and 20-69 subsequently extended through executive order 21-12 and 21-14 so that the District may conduct meetings of its Board of Supervisors without having a quorum of its members physically present or at any specific location through the utilization of communications such as telephone and electronic video meetings. This meeting is being held to address items necessary for the proper operation of the District. Today’s meeting is being conducted remotely via Zoom, which allows everyone to participate by video or telephone. Access to the meeting today was provided in our meeting notice, on the District’s website and by contacting us in advance. In order to facilitate public participation in today’s meeting we encouraged everyone to submit questions in advance.

Ms. Steuck joined the meeting at this time.

**SECOND ORDER OF BUSINESS**

**Public Comment Period**

There being none, the next item followed.

**THIRD ORDER OF BUSINESS**

**Approval of the Minutes of the May 15, 2020 Meeting**

On MOTION by Mr. Trace seconded by Mr. Franklin with all in favor the minutes of the May 15, 2020 meeting were approved as presented.

**FOURTH ORDER OF BUSINESS**

**Engineer's Report**

Mr. Hoffman stated I sent William a letter regarding the conservation area behind the Tibbitt Street lots. We have had some ongoing concern with residents regarding vegetation and the configuration of that lot. There is a conservation area behind those lots, lots 114 to 118, was always designed for compensating storage and a wetland creation area, a manmade wetland area that looks and feels like the adjacent wetland behind it. Originally construction and vegetation did not take in accordance with the design but over the last two years with your staff it has been corrected and the area appears to be functioning in accordance with the permits. All of those modifications were required in order to maintain compliance with the permits for the District.

We are also working on the trail around the pond. I had a conversation with the Geotech who designed that area and we walked in the field to catch all the areas and provide a menu of options for different repair, mitigation options that will extend the service life of that trail. There are options from a band aid approach up to full replacement, which would be an extreme example.

Mr. Trace asked how have things gone with the excessive rain for the past month or so? Are there any issues?

Mr. Hoffman responded we haven't had any issues reported by staff and there were no direct calls from residents.

Mr. Trace asked how are things going with the All Aboard Florida construction?

Mr. Hoffman stated they haven't dewatered it as of a week ago. They are moving forward with construction up and down the corridor.

Ms. Steuck asked do you know when they are going to start building on the back of Randal Park?

Mr. Hoffman responded I'm not intimately familiar with it, but I do know there are things going on there. I would imagine it is very early in the process and it will be a while before anything happens over there. I can keep staff updated with anything that is a public record.

Mr. Trace asked do you have an anticipated completion date of the cellphone tower?

Mr. Hoffman responded I do not and would defer to Mattamy on the cell tower construction.

Mr. Bell stated we haven't heard a solid date of when they are going to commission that tower. I will try to get an update for the next meeting.

## **FIFTH ORDER OF BUSINESS**

### **Discussion of Amenity Facilities Reopening**

Mr. Showe stated the next item is a discussion on the reopening of the amenity facilities. We have been keeping in contact with the Board on the process and what has been going on. As of right now we placed the current set of rules under which we are operating in the agenda package. We are operating at about 75% of capacity on most of our facilities. We did open the playgrounds with some additional signage approved by District Counsel and the insurance carrier. The room rental is available with additional waivers, also approved by District Counsel and the insurance carrier. The only item closed at this time is the splash pad. Alex and Marcia have done a good job in terms of running the operation.

Ms. Steuck asked how have things been going at the pool?

Ms. Penagos stated I'm here every day and sometimes it is busier than others. So far, I think everybody understood and was helping and the cooperation of the community has been appreciated. In the past we had a few residents upset when they couldn't get in the pool and after we increased to 75% it has been a lot better.

Mr. Showe stated we added hours to the gym for people who like to work out early and we added hours at the pool for lap swimmers; we are trying to be responsive when we get requests from residents.

Mr. Franklin stated starting tomorrow Orange County is mandating masks inside. Is there anything we need to modify?

Mr. Showe stated starting next week we are going to have to revise the policy to be in accordance with the ordinance passed by Orange County and the City of Orlando. We are going



to have to require folks to do the same thing. It is required in all public areas and that will be the next step that we will add to these plans.

Ms. Steuck stated I read that you do not have to wear a mask when exercising.

Mr. Showe stated we will review that order and get with Counsel.

Ms. Trucco stated we will want to amend our rules and post it at the amenities to limit our liability.

Ms. Cornelius stated at the playgrounds it is 10 and that is parents and kids. We have it posted that we encourage you to wipe down the equipment but there is no way to enforce that. How are we protected because people are saying that nobody is cleaning the equipment? Are we covered in that situation?

Mr. Showe stated you always have some level of liability. The insurance guidelines recommend that we have the sign saying, use at your own risk, self-sanitize. I think the liability is on the folks using the facility.

**SIXTH ORDER OF BUSINESS**

**Staff Reports**

**A. Attorney**

There being none, the next item followed.

**B. Engineer**

There being none, the next item followed.

**C. Manager**

**i. Approval of Check Register**

Mr. Showe presented the check register from April 1, 2020 through May 30, 2020 in the amount of \$181,092.02.

On MOTION by Mr. Franklin seconded by Mr. Bell with all in favor the check register was approved.

**ii. Balance Sheet and Income Statement**

A copy of the balance sheet and income statement were included in the agenda package. No Board action was required.

**iii. Field Manager's Report**

Mr. Viasalyers stated I have two proposals from Yellowstone. I met with Yellowstone last week to review some of the declining areas located in the first park and got some recommendations and feedback from some of the residents regarding the turf conditions and some of the mulch. The first proposal is for \$2,283.20 to replace a lot of that declining Zoysia with three pallets of sod and the second proposal is to touch up that area with some mulch for \$3,452.15.

Mr. Showe stated you can take this out of the Capital Project Fund, there is funding available for it.

On MOTION by Ms. Steuck seconded by Ms. Cornelius with all in favor the two proposals from Yellowstone were approved for Zoysia in the amount of \$3,452.15 and for mulch in the amount of \$2,283.20.

Ms. Steuck stated people complain about the dog park. Is it mostly because the residents don't take care of the dog parks?

Mr. Viasalyers stated the second dog park in the middle they dig a bunch of holes then walk away and post something and we get reports about it. We do our best to get on that ASAP. We treat them for pests and things like that, but dog parks are dog parks.

**iv. Amenity Report**

Ms. Penagos stated we started Food Truck Night and Pizza Night in June and participation has been great.

We have been cleaning and sanitizing the common areas including the pools and gym and we have had great cooperation from the residents. We received quarterly maintenance of the gym equipment. We have not done events yet.

**SEVENTH ORDER OF BUSINESS**

**Supervisor's Requests**

Ms. Steuck asked what is going on with the fountain?

Mr. Viasalyers stated we had a break in the pump area and the vendor is working on getting replacement parts. Those should be in any time now and we will get that up and running.

**EIGHTH ORDER OF BUSINESS**

**Other Business**

There being none, the next item followed.

**NINTH ORDER OF BUSINESS**

**Next Meeting Dates**

Mr. Showe stated the next meeting date is July 17, 2020.

On MOTION by Mr. Franklin seconded by Mr. Trace with all in favor the meeting adjourned at 10:02 a.m.

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Secretary/Assistant Secretary

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Chairman/Vice Chairman

# SECTION V





REVIEWED FOR CODE COMPLIANCE

DATE 10/23/19 by: *[Signature]* Building Official

PERMIT NO. BLD2019-15794

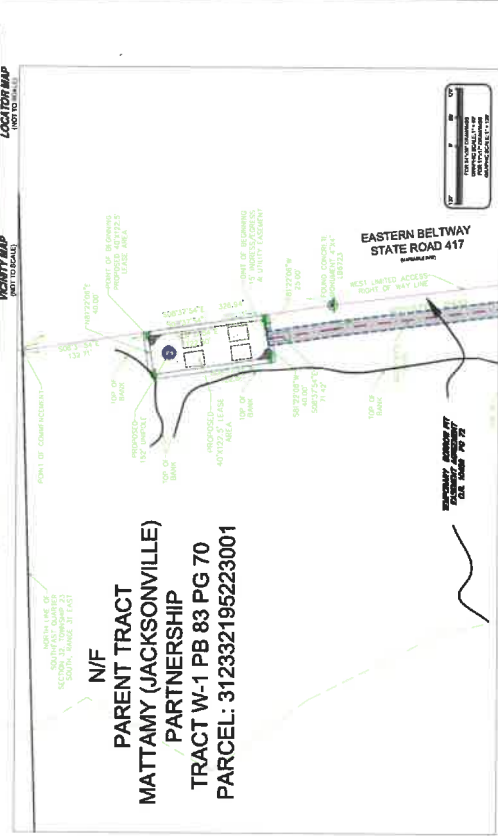
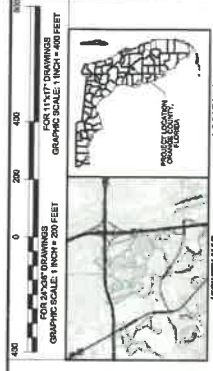
ADDRESS 10729

CONTRACTOR WILLIAM TUDOR

NOTE: Permit issuance does not grant permission N/F to violate applicable codes PARENT TRACT MATTAMY (JACKSONVILLE) PARTNERSHIP TRACT W-1 PB 83 PG 70 CITY OF ORLANDO DIVISION 223001 PERMITTING SERVICES: 312332195223001

SECTION 32, TOWNSHIP 23 SOUTH, RANGE 31 EAST CITY OF ORLANDO, ORANGE COUNTY, FLORIDA

ADJACENT TRACT DESCRIPTION: PARENT TRACT (AS DESCRIBED IN PERMIT NO. BLD2019-15794) AND TRACT W-1 PB 83 PG 70 (AS PROVIDED BY CLIENT). THIS PLAN IS A PARTIAL REVISION OF THE PREVIOUSLY SUBMITTED PLAN, INCLUDING THE PROPOSED LOCATION OF THE TOWER LEASE.



EXISTING STORMWATER DRAINS. SEE SHEET C-5 FOR INLET SILT PROTECTION. PROPOSED PORTION OF ACCESS DRIVE FROM VALLEY CURB TO ACCESS TO COMPOUND TO REMAIN IN EXISTING CONDITIONS. PROPOSED 15' INGRESS/EGRESS + UTILITY EASEMENT. REINFORCED DRIVEWAY APRON TO BE CONCRETE FROM THE VALLEY CURB TO THE RIGHT-OF-WAY LINE AND ASPHALT 15 FEET, EAST OF THE RIGHT-OF-WAY. PROPOSED GEO-GRID REINFORCED DRIVEWAY APRON TO BE CONCRETE FROM THE VALLEY CURB TO THE RIGHT-OF-WAY LINE AND ASPHALT 15 FEET, EAST OF THE RIGHT-OF-WAY.

SECTION 32, TOWNSHIP 23 SOUTH, RANGE 31 EAST CITY OF ORLANDO, ORANGE COUNTY, FLORIDA. PARENT TRACT (JACKSONVILLE) PARTNERSHIP TRACT W-1 PB 83 PG 70. PARCEL: 312332195223001. EASTERN BELTWAY STATE ROAD 417. SCALE 1" = 40'.

Table with 2 columns: REVISIONS, NO., DATE, DESCRIPTION. Includes entries for 'REVISED - 10/23/19' and 'REVISED - 10/24/19'.

APPROVED BY: [Signature] CHECKED BY: JF DRAWN BY: RM

KCI TECHNOLOGIES, INC. 4041 CROWN PARK DRIVE ORLANDO, FL 32837 (407) 740-2300

CORAL TOWERS, LLC. RANDAL PARK LOVELL AVE ORLANDO, FL 32832

ENGINEER: JAMES FENNELL PE FL LICENSE NO. 6386 DATE: 09/13/18 PROJECT TITLE: OVERALL SITE PLAN

Detailed site plan with annotations, including 'EXISTING STORMWATER DRAINS', 'PROPOSED PORTION OF ACCESS DRIVE', and 'PROPOSED 15' INGRESS/EGRESS + UTILITY EASEMENT'. Includes a north arrow and scale bar.

SPECIFIC PURPOSE SURVEY OF PROPOSED TOWER LEASE LOCATION. SCALE 1" = 40'. 24x36".

Digital signature block for James Fennell, PE, License No. 6386, dated 09/13/18. Includes contact information for KCI Technologies, Inc. and Coral Towers, LLC.

**REVIEWED FOR CODE COMPLIANCE**

DATE 10/23/19 by: *[Signature]*  
Building Official

PERMIT NO. BLD2019-15794

ADDRESS 10729

LANGEFIELD ST  
CONTRACTOR WILLIAM TUDOR

NOTE: Permit issuance does not grant permission to violate applicable codes. Keep this plan on site at all times.

**CITY OF ORLANDO  
PERMITTING SERVICES DIVISION**

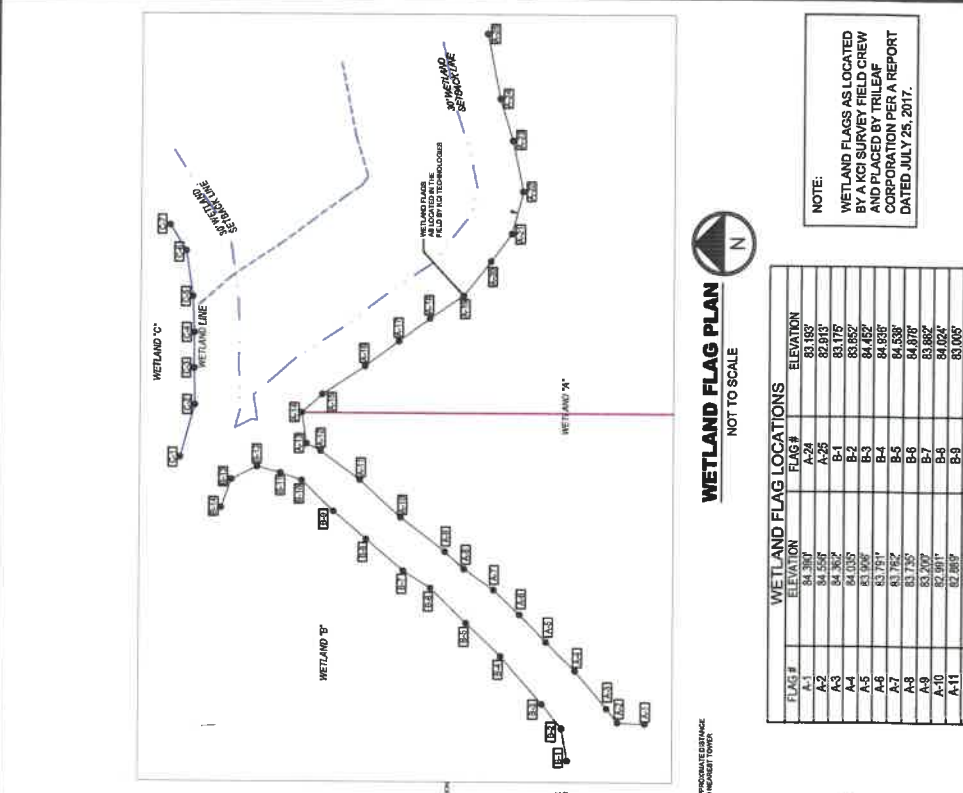
NO.	DATE	BY
01	10/23/19	JFK
02	11/15/19	JFK
03	05/16/20	JFK
04	05/16/20	JFK
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17	05/16/20	JFK
18	05/16/20	JFK
19	05/16/20	JFK
20	05/16/20	JFK

DESIGNED BY: JMK  
CHECKED BY: JF  
APPROVED BY: JF

**KCI TECHNOLOGIES**  
KCI TECHNOLOGIES, INC.  
4061 CREIGHT PARK DRIVE  
ORLANDO, FL 32832  
(813) 740-2300  
FLORIDA LICENSE NO.: ES0004988

**CORAL TOWERS, LLC.**  
RANDAL PARK  
LOVETT AVE  
ORLANDO, FL 32832

ENGINEER: JAMES FENNELLI  
FLORIDA LICENSE NO. 15368  
DATE: 06/13/18  
PROJECT: WETLAND FLAG PLAN  
SHEET: C-1A



NOTE:  
WETLAND FLAGS AS LOCATED BY A KCI SURVEY FIELD CREW AND PLACED BY TRILEAF CORPORATION PER A REPORT DATED JULY 25, 2017.

Digitally signed by James Fennelli  
DN: c=US, s=Florida, ou=KCI Technologies, Inc., email=James.Fennelli@kci.com  
Date: 2019.08.15 08:48:48 -0400



**WETLAND FLAG LOCATIONS**  
NOT TO SCALE

FLAG #	ELEVATION	FLAG #	ELEVATION
A-1	84.381	A-20	82.957
A-2	84.379	A-21	82.957
A-3	84.379	A-22	82.957
A-4	84.379	A-23	82.957
A-5	84.379	B-1	82.858
A-6	84.379	B-2	82.858
A-7	84.379	B-3	82.858
A-8	84.379	B-4	82.858
A-9	84.379	B-5	82.858
A-10	84.379	B-6	82.858
A-11	84.379	B-7	82.858
A-12	84.379	C-1	82.858
A-13	84.379	C-2	82.858
A-14	84.379	C-3	82.858
A-15	84.379	C-4	82.858
A-16	84.379	C-5	82.858
A-17	84.379	C-6	82.858
A-18	84.379	C-7	82.858
A-19	84.379		
A-20	84.379		
A-21	84.379		
A-22	84.379		
A-23	84.379		

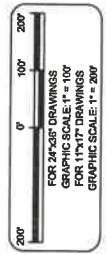
DISTANCE TO THE CLOSEST TOWER DETERMINED FROM FCC WEBSITE ON NOVEMBER 16TH, 2017. THE CLOSEST TOWER FOUND WAS A DISTANCE OF 9,500 FT TO THE SOUTHEAST

**TOWER SETBACKS (PARCEL LINE TO EDGE OF TOWER)**

REQUIRED	REQUIRED
NORTH	172'
SOUTH	516'
EAST	172'
WEST	516'

**COMPOUND FENCE SETBACKS (PARCEL LINE TO FENCE CORNERS)**

NORTH	147'±
SOUTH	1,357'±
EAST	5'±
WEST	1,682'±



**SETBACK PLAN**  
SCALE: AS NOTED







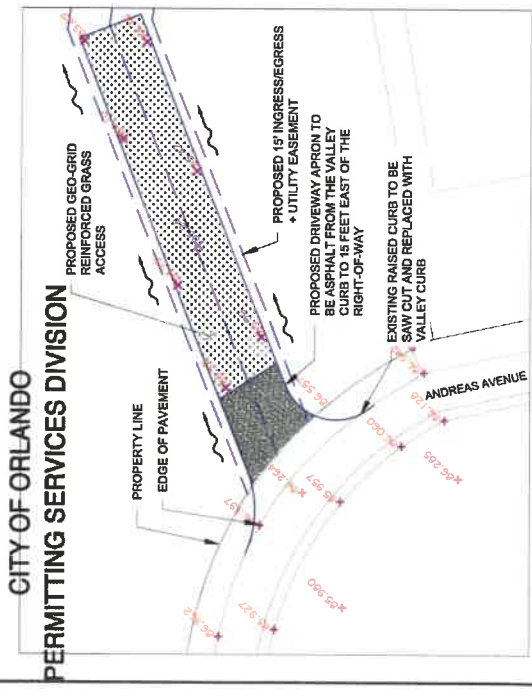
**REVIEWER FOR CODE COMPLIANCE**

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ORLANDO AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT). CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT).

**PERMIT NO. BLD2019-15794**

**EXISTING LITTORAL SHELF NOTE**  
 ADDRESS: 10729  
 MATTAMU/DANN'S PERMITTED BY  
 SHELF VARIATION PERMITTED BY  
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT).

**NOTE:** Permit issuance does not grant permission to violate applicable codes. Keep this plan on site at all times.



**SITE DATA**

1. ZONING: PD  
 JURISDICTION: CITY OF ORLANDO  
 PARCEL NUMBER: 32-23-1192-23-001  
 ACREAGE: 78.8  
 MUNICIPALITY: ORL - ORLANDO  
 COUNTY: SEMINOLE  
 LAND USE CODE: 019 - VACANT H.O.A.

- CORAL TOWER LEASE PARCEL AREA: 4.800A FLOOD INSURANCE RATE MAP: 1208202065 MAP REVISION: 02/26/2009
- PROPERTY OWNER: MATTAMU/DANN'S PARTNERSHIP
- VEHICULAR USE: APPROXIMATELY 1 TO 3 SITE VISITS PER MONTH. PARKING SHALL BE PROVIDED FOR IN THE ACCESS EASEMENT.
- WATER AND SEWER: COMMUNICATION FACILITY SHALL NOT BE SERVICED BY WATER OR SEWER
- USE: UNMANNED TELECOMMUNICATIONS RELAY EQUIPMENT. STORM WATER MANAGEMENT:
- DEVELOPER TO INSURE THAT SITE SHALL COMPLY WITH ALL STATE AND COUNTY STORM WATER REGULATIONS.
- SITE DATA COMPILED FROM A SURVEY BY KCI TECHNOLOGIES, INC. DATED 06-19-2018.
- NO KNOWN HISTORICAL PROPERTY IS DETERMINED TO BE IN THE IMMEDIATE VICINITY OF THE PROPOSED TOWER SITE.
- PROPERTY INFORMATION DEPICTED HEREIN WAS OBTAINED WITHOUT BENEFIT OF A TITLE REPORT PACKAGE.
- DEVELOPER TO PROVIDE TOWER FALL ZONE AND/OR FALL CHARACTERISTICS IN SEPARATE DOCUMENTATION.
- TOTAL PARCEL AREA: 3,345,000 SF
- EXISTING IMPERVIOUS USE: 0 SF
- PROPOSED AND FUTURE IMPERVIOUS AREA: 1,250 SF

APPROVED BY: JRM  
 CHECKED BY: JRM  
 DRAWN BY: JRM

**CORAL TOWERS, LLC.**  
 RANDAL PARK  
 LOVETT AVE  
 ORLANDO, FL 32832

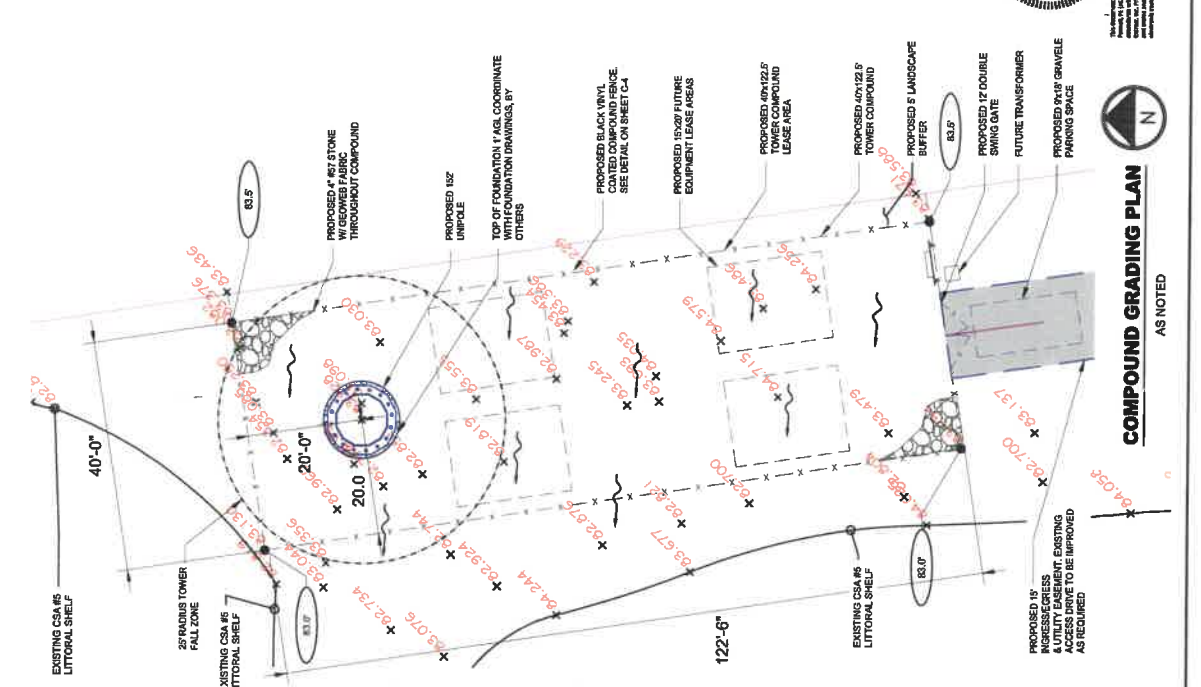
**KCI TECHNOLOGIES, INC.**  
 4041 CHECKING PARK DRIVE  
 MIAMI, FL 33156  
 (813) 740-0200  
 FLORIDA LICENSE NO.: E00004890

**GRADING PLAN**  
 C-1C

ENGINEER: JAMES FENNEL  
 FL LICENSE NO. 6388

DATE: 06/13/18

PROJECT: 10729



**Digitally signed by James Fennel**  
 DN: c=US, st=Florida, l=Riverview, o=KCI Technologies, Inc., ou=KCI Technologies, Inc, cn=James Fennel, email=James.fennel@kci.com

Date: 2019.09.18 12:29:27 -04'00'

**PROPOSED 15' UTILITY EASEMENT EXISTING ACCESS DRIVE TO BE IMPROVED AS REQUIRED**

**PROPOSED 15' UTILITY EASEMENT EXISTING ACCESS DRIVE TO BE IMPROVED AS REQUIRED**

**REVIEWED FOR CODE COMPLIANCE**

DATE 10/23/19 by: *[Signature]*  
Building Official

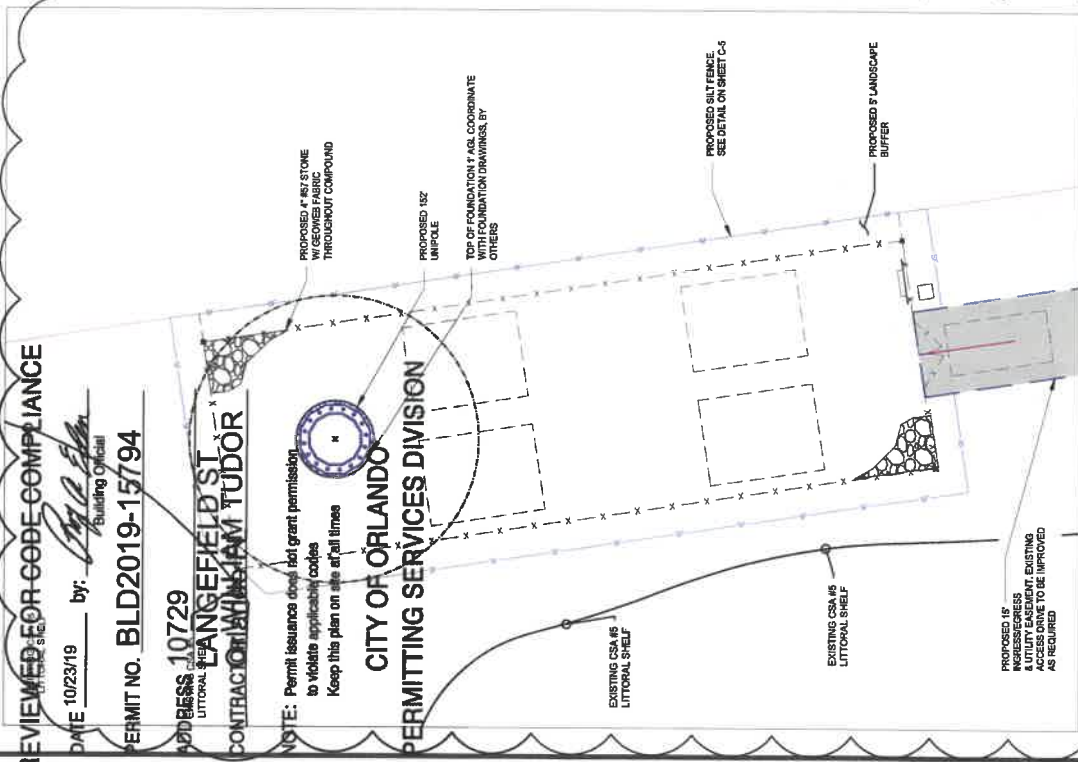
PERMIT NO. BLD2019-15794

ADDRESS 10729

LANGFIELD ST  
CONTRACTOR JAM TUDOR

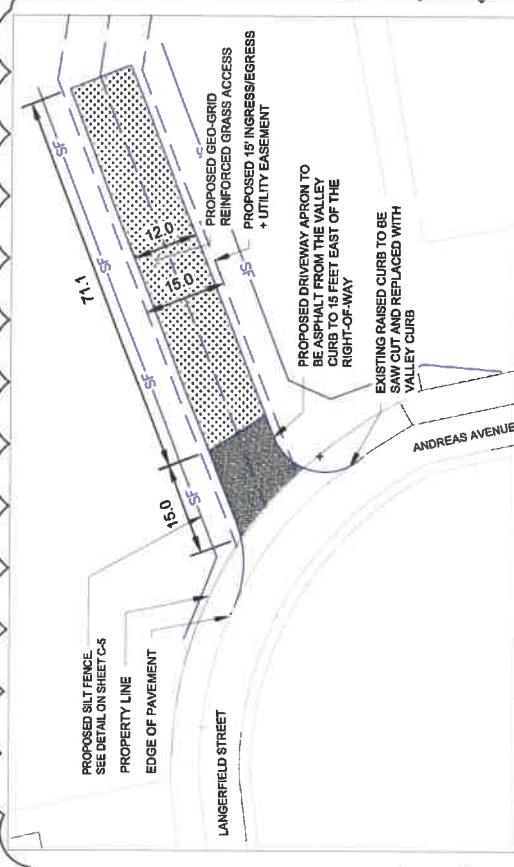
NOTE: Permit issuance does not grant permission to violate applicable codes. Keep this plan on site at all times.

CITY OF ORLANDO  
PERMITTING SERVICES DIVISION



**COMPOUND EROSION CONTROL PLAN**

SCALE: AS NOTED



**CONCRETE APRON EROSION CONTROL PLAN**

NOT TO SCALE

- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY WEAK SPOTS SHALL BE PERFORMED IMMEDIATELY.
- PERMETER CONTROLS SHALL BE PLACED ALONG ALL PERIMETERS OF THE PROJECT SITE, WHICH IS DOWN GRADIENT OF ANY DISTURBED SOIL. PROJECTS ADJACENT TO WETLAND AREAS MUST USE STAKED TURBIDITY BARRIERS AS CONTROL MEASURE TO PREVENT FINE SEDIMENT PARTICLES FROM ENTERING WETLAND.
- INLET PROTECTION: INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES THAT CONTRIBUTE SEDIMENT TO THE INLET. THIS INCLUDES INLETS AND CATCH BASINS AT THE PROJECT SITE AND THOSE OPPOSITE THAT RECEIVE RUNOFF FROM THE PROJECT SITE.
- THE SITE BOUNDARY ADJACENT TO WETLAND AREAS MUST USE STAKED TURBIDITY BARRIERS TO PREVENT FINE SEDIMENT PARTICLES FROM ENTERING THE WETLAND.

NO.	DATE	DESCRIPTION
1	10/23/19	ISSUED FOR PERMITTING
2	10/23/19	REVISED - 100% SUBMITTAL
3	10/23/19	REVISED - 100% SUBMITTAL
4	10/23/19	REVISED - 100% SUBMITTAL
5	10/23/19	REVISED - 100% SUBMITTAL
6	10/23/19	REVISED - 100% SUBMITTAL
7	10/23/19	REVISED - 100% SUBMITTAL
8	10/23/19	REVISED - 100% SUBMITTAL
9	10/23/19	REVISED - 100% SUBMITTAL
10	10/23/19	REVISED - 100% SUBMITTAL
11	10/23/19	REVISED - 100% SUBMITTAL
12	10/23/19	REVISED - 100% SUBMITTAL
13	10/23/19	REVISED - 100% SUBMITTAL
14	10/23/19	REVISED - 100% SUBMITTAL
15	10/23/19	REVISED - 100% SUBMITTAL
16	10/23/19	REVISED - 100% SUBMITTAL
17	10/23/19	REVISED - 100% SUBMITTAL
18	10/23/19	REVISED - 100% SUBMITTAL
19	10/23/19	REVISED - 100% SUBMITTAL
20	10/23/19	REVISED - 100% SUBMITTAL

DESIGNED BY: JF  
CHECKED BY: JF  
APPROVED BY: JF

**KCI TECHNOLOGIES, INC.**  
4041 TECHNOLOGY PARK DRIVE  
ORLANDO, FL 32837  
(407) 740-2300  
FLORIDA LICENSE NO.: EB0008988

**CORAL TOWERS, LLC.**  
LOVETT AVE  
ORLANDO, FL 32832

ENGINEER: JAMES FENNELL  
FLORIDA LICENSE NO. 63848

DATE: 06/13/18

PROJECT TITLE: CONCRETE APRON EROSION CONTROL PLAN

DATE: 2019.09.18 12:25:59

SCALE: AS NOTED

**REVIEWED FOR CODE COMPLIANCE**



**3,000' RADIUS MAP**  
NOT TO SCALE

NO.	DATE	BY	REVISIONS
1	08/12/18	AK	ISSUE FOR PERMITTING
2	08/12/18	AK	REVISED PERMITTING
3	08/12/18	AK	REVISED PERMITTING
4	08/12/18	AK	REVISED PERMITTING
5	08/12/18	AK	REVISED PERMITTING
6	08/12/18	AK	REVISED PERMITTING
7	08/12/18	AK	REVISED PERMITTING
8	08/12/18	AK	REVISED PERMITTING
9	08/12/18	AK	REVISED PERMITTING
10	08/12/18	AK	REVISED PERMITTING

DESIGNED BY: JCM  
 CHECKED BY: JCM  
 APPROVED BY: JCM  
 FLORIDA LICENSE NO.: E8000488

**KCI TECHNOLOGIES**  
 4041 CRESCENT PARK DRIVE  
 RIVERVIEW, FLORIDA 33574  
 (415) 740-2300

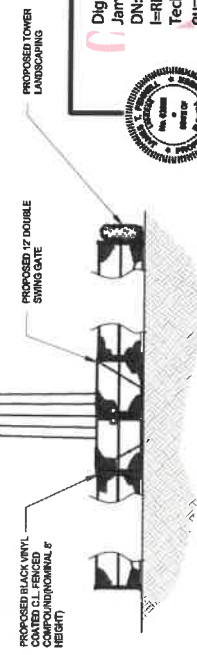
**CORAL TOWERS, LLC.**  
 RANDAL PARK  
 LOVELL AVE.  
 ORLANDO, FL 32832

ENGINEER: JAMES FENNELL, PE  
 FLORIDA LICENSE NO. 6388  
 DATE: 06/13/18  
 SCALE: AS SHOWN  
 SHEET TITLE: TOWER ELEVATION  
 PROJECT NO.: 2019-08-15

- TOP OF TOWER @ 152' AGL
- PROPOSED ANTENNAS CL @ 142' AGL
- PROPOSED CARRIER ANTENNAS CL @ 132' AGL
- PROPOSED CARRIER ANTENNAS CL @ 122' AGL
- PROPOSED CARRIER ANTENNAS CL @ 112' AGL

**STORMWATER CALCULATIONS, COMPOUND**  
 RATIONAL METHOD: C=0.4, P=0.25, VS STORM DENSITY  
 EXISTING SITE RUNOFF: (35.96/4740.0) = 0.44 CFS  
 PROPOSED SITE RUNOFF: (35.96/4740.0) = 0.44 CFS  
 PROPOSED FUTURE RUNOFF: (35.96/4740.0) = 0.44 CFS  
 PROPOSED CHANGE IN RUNOFF: 0.00 CFS  
 ALL COEFFICIENTS HAVE BEEN WEIGHTED

- TOWER NOTE:**  
-TOWER TO HAVE A WHITE FINISH
- TOWER LIGHTING NOTES:**  
TOWER SHALL MEET ALL FT. RULES REQUIRED BY FAA GUIDELINES/REGISTRATION REQUIREMENTS.



Digitally signed by James Fennell  
 DN: c=US, st=Florida  
 l=Riverview, o=KCI Technologies, Inc., ou=KCI Technologies, Inc., cn=James Fennell  
 email=james.fennell@kci.com  
 Date: 2019.08.15 08:47:27 -0400





**REVIEWED FOR CODE COMPLIANCE**

DATE 10/23/19 by: *[Signature]*  
Building Official

PERMIT NO. BLD2019-15794

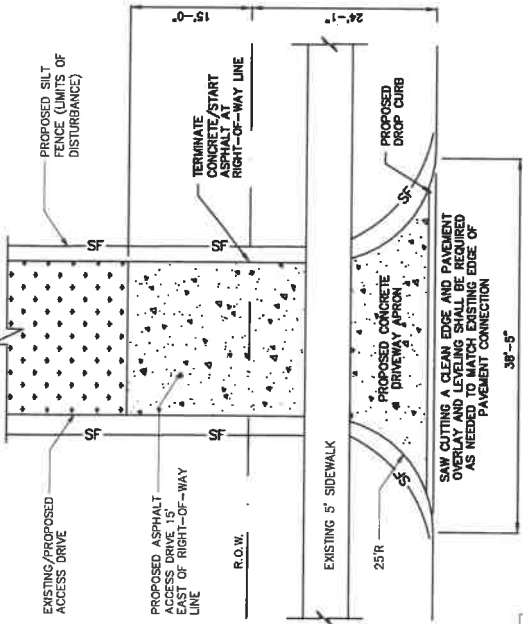
ADDRESS 10729

LANGFIELD ST  
CONTRACTOR: *[Signature]* JAM TUDOR

NOTE: Permit Message/Notes by grant permitting.ox  
to [www.cityoforlando.com](http://www.cityoforlando.com)

Keep this plan on site at all times  
during construction.  
Curb (over curb)

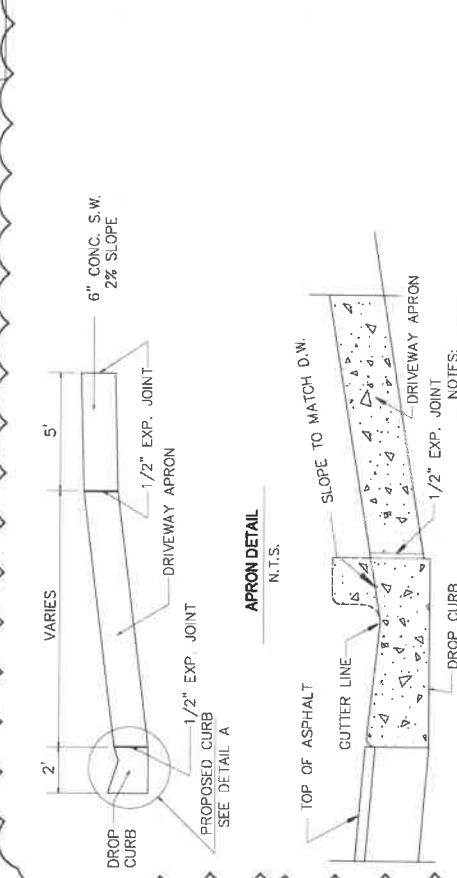
**CITY OF ORLANDO  
PERMITTING SERVICES DIVISION**



NOTES:  
1. CONTRACTOR TO INSURE POSITIVE DRAINAGE  
2. ALL ELEVATIONS SHOWN ARE IN NAVD83 DATUM

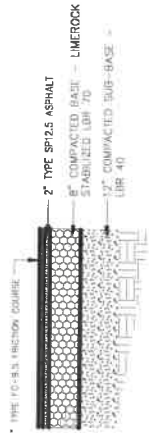
**DRIVEWAY CONNECTION DETAIL**  
NOT TO SCALE

- NOTE:  
1. CONTRACTOR TO COORDINATE ALL WORK ON THE DRIVEWAY WITH THE UTILITY LOCATOR OPERATIVE PRIOR TO THE INITIATION OF ANY CONSTRUCTION ACTIVITIES.  
2. CONCRETE APRON SHALL BE 6" THICK, 3000 PSI WITH 6X6 WWF.



- NOTES:  
1. 3000 PSI CLASS 1 CONCRETE REQUIRED  
2. EXISTING HIGH CURB SHALL BE REMOVED AND REPLACED WITH DROP CURB  
3. 6" S.W. SECTION SHALL BE INSTALLED THROUGH DRIVEWAY

DETAIL A  
N.T.S.



NOTE:  
ALL DISTURBED AREAS WITHIN RIGHT OF WAY SHALL BE SOODED.  
FOOT FLEXIBLE PAVEMENT DESIGN  
NOT TO SCALE

NOTE:  
FLEXIBLE PAVEMENT DESIGN BASED ON A GEOTECHNICAL REPORT BY B... DATED FEBRUARY 12TH, 2018.

Digitally signed by James Fennell  
DN: c=US, st=Florida, ou=KCI Technologies, Inc., email=James.Fennell@kci.com  
Date: 2019.09.18 12:31:50-0400



NO.	DATE	REVISIONS
1	10/23/19	ISSUE FOR PERMITTING
2	09/18/19	REVISED - 100% SUBMITTAL
3	09/17/19	REVISED - 100% SUBMITTAL
4	09/17/19	ISSUE FOR PERMITTING
5	09/17/19	ISSUE FOR PERMITTING
6	09/17/19	ISSUE FOR PERMITTING
7	09/17/19	ISSUE FOR PERMITTING
8	09/17/19	ISSUE FOR PERMITTING
9	09/17/19	ISSUE FOR PERMITTING
10	09/17/19	ISSUE FOR PERMITTING
11	09/17/19	ISSUE FOR PERMITTING
12	09/17/19	ISSUE FOR PERMITTING
13	09/17/19	ISSUE FOR PERMITTING
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17	09/17/19	ISSUE FOR PERMITTING
18	09/17/19	ISSUE FOR PERMITTING
19	09/17/19	ISSUE FOR PERMITTING
20	09/17/19	ISSUE FOR PERMITTING

DESIGNED BY: JAM
CHECKED BY: JAM
APPROVED BY: JAM
DATE: 10/23/19

**KCI TECHNOLOGIES**  
FLORIDA LICENSE NO.: EB0000488  
4845 RIVERVIEW PARK DRIVE  
ORLANDO, FL 32830  
(407) 740-2300

**CORAL TOWERS, LLC.**  
RANDAL PARK  
LOVETT AVE.  
ORLANDO, FL 32832

ENGINEER: JAMES T. FENNELL, PE FL LICENSE NO. 0386
DATE: 09/17/19
SCALE: AS SHOWN
PROJECT NO.: 1907022828A
DRIVEWAY DETAIL
C-4

REVIEWED FOR CODE COMPLIANCE

DATE  
PERM  
ADDR  
CONT  
NOTE  
PER



30' CYPRESS WETLAND SETBACK DETAIL  
NOT TO SCALE



30' CYPRESS WETLAND SETBACK DETAIL  
NOT TO SCALE



Digitally signed by  
James Fennell  
DN: cn=US, st=Flor  
id=RiverView, o=KCI  
Technologies, Inc  
ou=KCI  
Technologies, Inc  
cn=James Fennell  
email=James.Fennell  
@kci.com  
Date: 2019.08.15  
08:45:32 -0400

**CORAL TOWERS, LLC.**  
**RANDAL PARK**  
ORLANDO, FL 32832

**KCI TECHNOLOGIES, INC.**  
4001 GIBSON PARK DRIVE  
ORLANDO, FL 32832  
(407) 740-2300  
FLORIDA LICENSE NO.: 43800496

NO.	DATE	BY	REVISIONS
A	11/07/18	KCI	ISSUE FOR PERMITS
B	11/15/18	KCI	ISSUE FOR PERMITS
C	04/18/19	KCI	REVISED TO REFLECT PERMITS
D	04/24/19	KCI	REVISED TO REFLECT PERMITS
E	04/24/19	KCI	REVISED TO REFLECT PERMITS
F	04/24/19	KCI	REVISED TO REFLECT PERMITS
G	04/24/19	KCI	REVISED TO REFLECT PERMITS
H	04/24/19	KCI	REVISED TO REFLECT PERMITS
I	04/24/19	KCI	REVISED TO REFLECT PERMITS

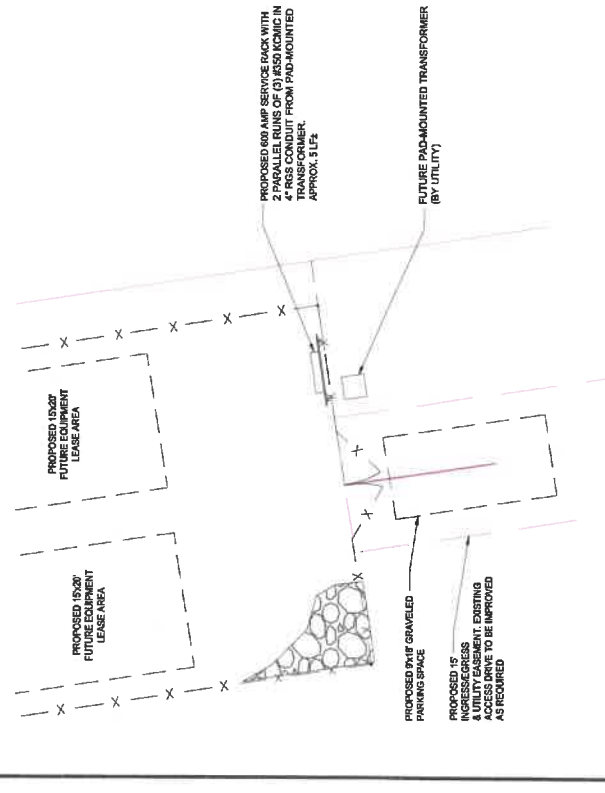




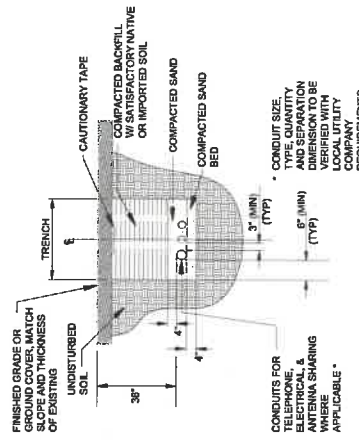


**REVIEWED FOR TITLE 6 COMPLIANCE**  
 1. THE CONDUIT SHALL TERMINATE AT THE EVALUATED PER CO BOX IN  
 DATE 10/22/2019 AND THE CONDUIT SHALL BE PROTECTED BY A  
 SHALL BE DETERMINED BY THE LOCAL UTILITY PROVIDER.  
 2. POWER CONDUIT TO TERMINATE AT THE EVALUATED PER CO BOX IN  
 BACK EACH LOCAL UTILITY PROVIDER SHALL BE DETERMINED IN  
 PERMITTING BY THE LOCAL UTILITY PROVIDER.  
 3. CONDUIT SHALL BE PROTECTED BY A PER CO BOX IN  
 SHALL BE DETERMINED BY THE LOCAL UTILITY PROVIDER.  
 ADDRESS: 110729 110729 TO AVOID HITTING OR DAMAGING ANY  
 CONDUCTORS OR EQUIPMENT.

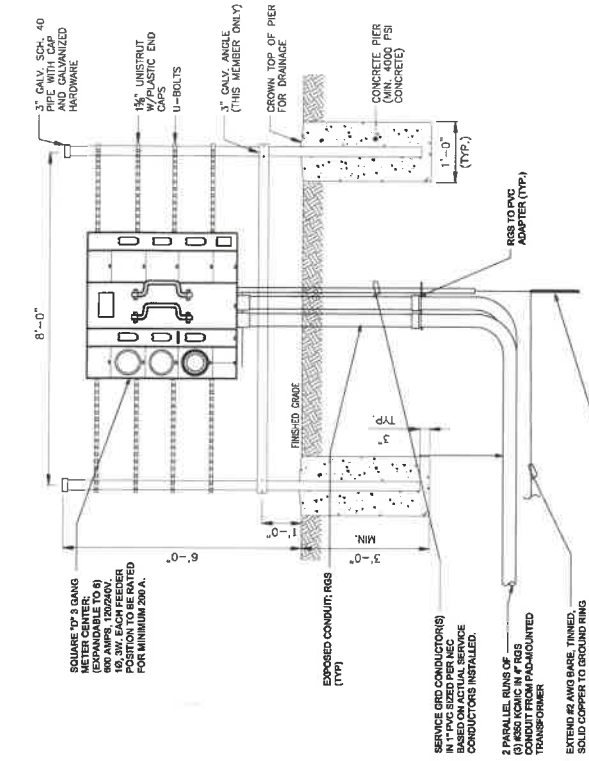
**CITY OF ORLANDO  
 PERMITTING SERVICES DIVISION**  
 1. ALL CONDUCTORS AND LUGS SHALL BE COPPER.  
 NOTE: Permit Licensee does not grant permission  
 MULTIPLE CONDUITS SHALL BE INSTALLED IN THE SAME TRENCH  
 3. INDIVIDUAL CONDUITS SHALL BE IDENTIFIED BY MARKINGS SHOWN ARE  
 TO BE ROTATED SUCH THAT INDIVIDUAL SERVICE  
 CONDUIT SHALL BE IDENTIFIED BY MARKINGS SHOWN ARE  
 4. METERS SHALL BE AS SPECIFIED IN NATIONAL  
 PERMITTING SERVICES DIVISION  
 5. BREAKERS SHALL BE NEMA 3R



**ELECTRICAL PLAN**  
 NOT TO SCALE



**BURIED CONDUIT DETAIL**  
 NOT TO SCALE



**DETAIL - PROPOSED UTILITY RACK**  
 NOT TO SCALE

**VOLTAGE DROP NOTE**  
 THE PLANS REFLECT SYSTEM VOLTAGE DROP AS PER NEC ENERGY CONSERVATION 2017 SIXTH EDITION CHAPTER 9.5. FEEDER CONDUCTORS ARE SIZED FOR A MAXIMUM VOLTAGE DROP OF 2 PERCENT AT DESIGN LOAD. BRANCH CIRCUIT CONDUCTORS ARE SIZED FOR A MAXIMUM VOLTAGE DROP OF 3 PERCENT AT DESIGN LOAD.

**FAULT CURRENT NOTE**  
 CONTRACTOR SHALL INSTALL ALL NEW ELECTRICAL EQUIPMENT TO MEET MINIMUM AIC AND SCR RATINGS PER THE AVAILABLE FAULT CURRENT. BASED ON THE LACK OF AN AVAILABLE FAULT CURRENT STUDY, THE AVAILABLE FAULT CURRENT AT THE SERVICE POINT, ALL EQUIPMENT SHALL BE PROVIDED AT LEAST 100,000 AIC. THE CONTRACTOR OBTAINS MORE ACCURATE INFORMATION FROM THE UTILITY COMPANY AT THE TIME OF CONSTRUCTION. IF THE AVAILABLE FAULT CURRENT IS LOWER THAN SHOWN, THE CONTRACTOR SHALL RE-EVALUATE THE FAULT CALCULATIONS IN THE FIELD AND MARK THE EQUIPMENT APPROPRIATELY.

- NOTES**
1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.
  2. GROUNDING NOT SHOWN FOR CLARITY.

**Digitally signed by**  
 James Fennell  
 DN: c=US, st=Florida, o=KCI Technologies, Inc., ou=KCI Technologies, Inc., cn=James Fennell, email=James.fennell@kci.com  
 Date: 2019.08.15 08:44:16 -0400



**NOTE:**  
 ALL WORK SHALL COMPLY WITH THE 2014 NATIONAL ELECTRIC CODE.

NO.	DATE	BY
1	08/15/19	JRM
2	08/15/19	JRM
3	08/15/19	JRM
4	08/15/19	JRM
5	08/15/19	JRM
6	08/15/19	JRM
7	08/15/19	JRM
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15	08/15/19	JRM
16	08/15/19	JRM
17	08/15/19	JRM
18	08/15/19	JRM
19	08/15/19	JRM
20	08/15/19	JRM

APPROVED BY: JRM  
 CHECKED BY: JRM  
 DRAWN BY: JRM

**KCI TECHNOLOGIES, INC.**  
 4041 CRENSHAW PARK DRIVE  
 RIVERVIEW, FLORIDA 33574  
 (813) 740-2300  
 FLORIDA LICENSE NO.: E00004988

**CORAL TOWERS, LLC.**  
 LOVETT AVE.  
 ORLANDO, FL 32832

ENGINEER: JAMES FENNEL  
 P.E. LICENSE NO. 671028294  
 DATE: 08/15/19  
 PROJECT NO.: 19080001  
 SHEET TITLE: ELECTRICAL PLAN  
 SHEET NO.: E-2

**REVIEWED FOR CODE COMPLIANCE**

DATE 10/23/19 by: *[Signature]*  
Building Official

PERMIT NO. BLD2019-15794

ADDRESS 10729

CONTRACTOR WITH BUILDING

NOTE: Permit Issuance does not constitute approval to violate applicable codes. Keep this person safe at all times.

CITY OF ORLANDO  
PERMITTING SERVICES DIVISION

PROPOSED TOWER  
PROPOSED COMPOUND FENCE

PROPOSED 600 AMP SERVICE RACK



**GROUNDING PLAN**  
NOT TO SCALE

**GROUNDING KEY NOTES:**

1. PROVIDE A #2 AWG SOLID BARE TINNED COPPER GROUND RING AROUND THE TOWER. ALL EXTERIOR GROUNDING CONDUCTORS SHALL BE BURIED A MINIMUM OF 18" BELOW GRADE. THE GROUND RING SHALL BE INSTALLED AT THE BOTTOM OF THE TOWER. THE EXACT LOCATION OF GROUNDING BAR AND PROPER CONDUCTOR LENGTH, EXOTHERMICALLY WELDED (#2 AWG SOLID BARE TINNED COPPER GROUNDING CONDUCTORS) SHALL BE REQUIRED TO THE GROUND BARS. GROUNDING CONDUCTORS SHALL BE INSTALLED IN A FLEXIBLE PVC CONDUIT OR ROUTING THE CONDUCTORS IN FLEXIBLE PVC CONDUIT. COORDINATE LOCATION WITH T-MOBILE CONSTRUCTION MANAGER.
2. PROVIDE #2 AWG SOLID BARE TINNED COPPER WIRE TO ANY METAL WITHIN 6' OF PROPOSED GROUND RING.
3. PROVIDE GATE BONDING AT EACH GATE LEAF WITH FLEXIBLE BONDING FROM A FIXED FENCE POST TO THE GATE LEAF FRAME. USE EXOTHERMIC WELD, #8 AWG OR BIGGER. SEE DETAIL, THIS SHEET.
4. #2 AWG BARE, TINNED, SOLID COPPER WIRE TO FENCE POSTS (TYP. 4 PLACES).
5. INSTALL GROUNDING CONDUCTORS FROM THE BURIED GROUND RING FOR CONNECTION TO THE GROUND BARS AT BOTTOM OF TOWER. THE EXACT LOCATION OF GROUNDING BAR AND PROPER CONDUCTOR LENGTH, EXOTHERMICALLY WELDED (#2 AWG SOLID BARE TINNED COPPER GROUNDING CONDUCTORS) SHALL BE REQUIRED TO THE GROUND BARS. GROUNDING CONDUCTORS SHALL BE INSTALLED IN A FLEXIBLE PVC CONDUIT OR ROUTING THE CONDUCTORS IN FLEXIBLE PVC CONDUIT. COORDINATE LOCATION WITH T-MOBILE CONSTRUCTION MANAGER.
6. INSTALL GROUND BAR TO TOWER/WAN/SCRUDE BRIDGE. EXOTHERMICALLY WELD (#2 AWG SOLID BARE TINNED COPPER GROUNDING CONDUCTORS BETWEEN MGB AND GROUND RING. (TYP. 2 PLACES) SEE E3 FOR DETAILS.
7. #2 INSULATED/STRANDED ANTENNA AND COAX BOND (TYP. 2 PLACES).
8. PROVIDE #2 AWG SOLID BARE TINNED COPPER WIRE TO GROUND ROD.
9. PROVIDE GATE BONDING AT EACH GATE LEAF WITH FLEXIBLE BONDING FROM A FIXED FENCE POST TO THE GATE LEAF FRAME. USE EXOTHERMIC WELD, #8 AWG OR BIGGER. SEE DETAIL, THIS SHEET.
10. #2 AWG BARE, TINNED, SOLID COPPER WIRE TO GROUND ROD.

**GROUNDING NOTES:**

1. ALL GROUNDING CONNECTIONS SHALL BE MADE USING EXOTHERMIC WELD BARS (NOT SOLDER) AND SHALL BE LOCATED FOR EQUIPMENT CONNECTIONS WHICH ARE BARE (SOLID COPPER) OR INSULATED (SOLID COPPER) TYPE, FOR COPPER, UNLESS OTHERWISE NOTED.
2. ALL GROUND RODS SHALL BE A MINIMUM OF 6 FEET LONG, COPPER CLAD STEEL (302 OR 304), 66" DIAMETER, DRIVEN VERTICALLY DOWN WITH TOPS 30" MIN. BELOW GRADE. USE SHIELDS TO PREVENT "MUSHROOMING" ROD TOPS.
3. ALL GROUND CONDUCTORS SHALL BE BARE, TINNED, SOLID COPPER WIRE, SIZED #2 AWG, RUN 30" MINIMUM BELOW GRADE.
4. GROUND RODS FOR GROUND RING SHALL BE LOCATED 6' APART.
5. ANY METAL OBJECT WITHIN 6 FEET OF THE TOWER OR EQUIPMENT GROUND RING SHALL BE BONDED DIRECTLY TO THE RING.
6. THE MINIMUM BENDING RADIUS FOR ALL GROUND CONDUCTORS NO. 8 AWG OR SMALLER SHALL BE 8" CONDUCTOR LARGER THAN NO. 8 SHALL HAVE A 12" BENDING RADIUS.
7. ALL ABOVE GRADE GROUNDING CONDUCTORS SHALL BE BOLTED DOWNWARD TOWARD EARTH AND HORIZONTAL ONLY WHERE NECESSARY WITH NO LOOP BACKS.
8. ALL CONDUCTORS SHALL BE ROUTED SUCH THAT THERE ARE NO ANGLES OF LESS THAN 90 DEGREES.
9. COMPLETED GROUND SYSTEMS SHALL BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. IF RESISTANCE VALUE IS EXCEEDED, NOTIFY OWNER FOR FURTHER INSTRUCTIONS. SUBMIT A COPY OF THE TEST REPORT TO THE OWNER.
10. ALL GROUNDING SHALL COMPLY WITH NFPA 70 (NEC) AND NFPA 780, "LIGHTNING PROTECTION CODE".
11. ALL GROUNDING COMPONENTS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR.
12. ANY METAL CONDUIT MOUNTED ON THE TOWER SHALL BE BONDED TO THE TOWER AT EACH END.
13. ALL GROUNDING SHALL COMPLY WITH NORTTEL STANDARD CS4122, "GROUNDING OF COMMUNICATIONS SYSTEMS" & T-MOBILE BTS GROUNDING GUIDELINES.
14. THERE SHALL BE AN GROUND BAR LOCATED AT TOP AND MIDDLE OF THE TOWER. BOND BAR TO TOWER WITH A #2 SOLID COPPER CONDUCTOR. CONNECT BAR END WITH BOND BAR TO TOWER WITH A #2 SOLID COPPER CONDUCTOR. CONNECT BAR END WITH BOND BAR TO TOWER WITH A #2 SOLID COPPER CONDUCTOR. AND DRAGON TOOTH WASHER BOND COAX SHIELD GROUNDING BARS TO GROUND BAR.
15. BOND ANTENNA TO TOWER WITH A #2 BARE, TINNED, SOLID COPPER CONDUCTOR. 2-HOLE LUG (AT EACH END).
16. ALL GROUND BARS SHALL BE 1 1/2" x 1/4" INCH WITH PRE-DRILLED HOLES TO MATCH TWO HOLE LUGS. GROUND BARS SHALL BE FABRICATED OR DRILLED. HARDWARE SHALL BE 304 STAINLESS STEEL. NO ZINC COATED MATERIAL ALLOWED. MOUNT ALL GROUND BARS PARALLEL TO THE EARTH.

NO.	DATE	BY
01	10/23/19	JM
02	10/23/19	JM
03	10/23/19	JM
04	10/23/19	JM
05	10/23/19	JM
06	10/23/19	JM
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16	10/23/19	JM
17	10/23/19	JM
18	10/23/19	JM
19	10/23/19	JM
20	10/23/19	JM

DESIGNED BY:	JM
CHECKED BY:	JM
APPROVED BY:	JM
DATE:	10/23/19

**KCI TECHNOLOGIES, INC.**  
FLORIDA LICENSE NO.: E00004839  
6041 RIVERVIEW BLVD., SUITE 100  
ORLANDO, FL 32832  
(407) 740-2300

**CORAL TOWERS, LLC.**  
RANDAL PARK  
LOVETT AVE  
ORLANDO, FL 32832

ENGINEER: JAMES FENNEL  
FLORIDA LICENSE NO. 00170888A  
DATE: 06/13/18  
PROJECT: 191010001  
PROJECT LOCATION: 10729  
PROJECT DESCRIPTION: GROUNDING PLAN  
PROJECT DRAWING NO.: 191010001-01

**James Fennell**  
DN: c=US, st=Florida,  
l=Riverview, o=KCI  
Technologies, Inc.,  
ou=KCI Technologies,  
cn=James Fennell  
email=James.fennell@kci.com  
Date: 2019.08.15  
08:43:50 -04'00'

# SECTION VI

## **SECTION B**

# SECTION 1

# Randal Park Community Development District

## Check Run Summary

June 1, 2020 thru June 30, 2020

<b>Fund</b>	<b>Date</b>	<b>Check No.'s</b>	<b>Amount</b>
General Fund	6/5/20	1969	\$15,686.14
	6/15/20	1970-1983	\$32,858.97
	6/23/20	1984-1989	\$55,787.56
			<hr/>
			\$104,332.67



BANK A RANDAL PARK CDD

.....INVOICE.....EXPENSED TO.....  
 DATE INVOICE YRMO DPT ACCT# SUB SUBCLASS VENDOR NAME STATUS AMOUNT .....CHECK.....  
 DATE AMOUNT #

CHECK DATE	VEND#	DATE	INVOICE	YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	.....CHECK..... AMOUNT #
6/05/20	00001	5/18/20	539	202005	320	53800	51000		CAULKING FOR COLUMNS	*	9.84	
		5/18/20	539	202005	320	53800	51000		CLEANING SUPPLIES	*	794.82	
		5/19/20	540	202005	320	53800	51000		CLEANING SUPPLIES	*	371.02	
		6/01/20	541	202006	310	51300	34000		MANAGEMENT FEES--JUN20	*	3,381.25	
		6/01/20	541	202006	310	51300	35100		INFORMATION TECH--JUN20	*	83.33	
		6/01/20	541	202006	310	51300	31300		DISSEMINATION--JUN20	*	875.00	
		6/01/20	541	202006	310	51300	51000		OFFICE SUPPLIES	*	.42	
		6/01/20	541	202006	310	51300	42000		POSTAGE	*	7.00	
		6/01/20	541	202006	310	51300	42500		COPIES	*	47.55	
		6/01/20	542	202006	320	53800	12000		FIELD MANAGEMENT--JUN20	*	1,449.17	
		6/01/20	543	202006	320	53800	12100		AMENITY MANAGEMENT--JUN20	*	6,240.08	
		6/01/20	544	202006	320	53800	12300		FACILITY MAINT--JUN20	*	2,426.66	

GOVERNMENTAL MANAGEMENT SERVICES 15,686.14 001969

6/15/20	00031	5/31/20	185846	202005	320	53800	47000		LAKE MAINT-5 PONDS-MAY20	*	285.00	
		5/31/20	185846	202005	320	53800	47000		LKMNT-DOWDEN COLON-MAY20	*	27.50	
		5/31/20	185846	202005	320	53800	47000		LKMNT-DOWDEN SHARED-MAY20	*	27.50	
		5/31/20	185846	202005	320	53800	47000		LKMNT-AC1 COLONIAL-MAY20	*	25.00	
		5/31/20	185846	202005	320	53800	47000		LKMNT-AC1 SHARED-MAY20	*	25.00	
		5/31/20	185846	202005	320	53800	47000		LAKE MAINT-4 PONDS-MAY20	*	355.00	

APPLIED AQUATIC MANAGEMENT, INC. 745.00 001970

6/15/20	00043	5/21/20	12028251	202005	320	53800	46800		PEST CONTROL - MAY20	*	50.00	
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ARROW ENVIRONMENTAL SERVICES 50.00 001971

6/15/20	00069	5/01/20	1679	202004	320	53800	47600		SECURITY PATROL - APR20	*	1,984.00	
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COMMUNITY WATCH SOLUTIONS, LLC 1,984.00 001972

RAND RANDAL PARK IAGUILAR

RANDAL PARK CDD  
 BANK A RANDAL PARK CDD

CHECK DATE	VEND#	INVOICE DATE	INVOICE YRMO	DPT ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT #
6/15/20	00120	5/19/20	648208	202005	320-53800-46000		KNUCKLE MOUNT	*	63.00	63.00 001973
6/15/20	00002	6/02/20	7-026-82	202005	310-51300-42000		FLORIDA BULB & BALLAST INC.	*	22.68	
			DELIVERY 05/27/20						21.43	
		6/09/20	7-033-44	202006	310-51300-42000		DELIVERY 06/01/20	*		
6/15/20	00001	6/09/20	548	202005	320-53800-12200		FEDEX	*	750.00	44.11 001974
			MEMORIAL POOL ATTENDANTS						300.00	
		6/09/20	548	202005	320-53800-12200		PART TIME WKND ATTENDANTS	*	1,500.00	
		6/09/20	549	202006	320-53800-12200		WEEKDAYS POOL ATTENDANT	*	2,000.00	
		6/09/20	549	202006	320-53800-12200		WEEKENDS POOL ATTENDANT	*		
6/15/20	00025	5/26/20	91545	202004	310-51300-31500		GOVERNMENTAL MANAGEMENT SERVICES	*	366.50	4,550.00 001975
			CONFER/COVID/REVIEW							
6/15/20	00003	5/31/20	02080484	202005	310-51300-48000		LATHAM, LUNA, EDEN & BEAUDINE LLP	*	537.51	366.50 001976
			BOS MTG NOTICE 05/08/20						200.00	
		5/31/20	02080484	202005	310-51300-48000		BOS CANDIDATE 05/22/20	*		
6/15/20	00039	6/01/20	6033	202006	320-53800-46400		ORLANDO SENTINEL COMMUNICATIONS	*	528.00	737.51 001977
			POOL MAINTENANCE - JUN20						100.00	
		6/01/20	6034	202006	320-53800-46900		ROBERTS POOL SERVICE AND REPAIR INC	*		
			FOUNTAIN MAINT - JUN20						945.00	
6/15/20	00108	5/04/20	520019	202005	320-53800-46700		JANITORIAL SERVICE MAY20	*		
			ROBERTS POOL SERVICE AND REPAIR INC						628.00	
6/15/20	00038	5/18/20	351791	202006	320-53800-46400		RUGBY COMMERCIAL CLEANING, LLC	*		
			CHEMICAL CONTROL JUN20						750.00	
6/15/20	00049	6/01/20	146941	202005	320-53800-34500		SPIES POOL, LLC	*		
			SECURITY MONITORING MAY20						35.00	
			SYNERGY FL							
			RAND RANDAL PARK							
			IAGUILAR							

\*\*\* CHECK DATES 05/31/2020 - 06/30/2020 \*\*\*  
 RANDAL PARK CDD  
 BANK A RANDAL PARK CDD

CHECK DATE	VEND#	INVOICE DATE	INVOICE YRMO	DPT ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT #
6/15/20	00094	5/14/20	1450	202005	320-53800-46300		SPLASH REPAIRS-AQUA FLEX	*	850.00	850.00 001982
6/15/20	00066	5/14/20	ON 11333	202005	300-13100-10400		COMMON AREA TURF-PLANT	*	3,047.85	
5/14/20	ON 11333	202005	300-13100-10400				COMMON AREA TURF-MISC	*	16,807.30	
5/14/20	ON 11333	202005	300-13100-10400				COMMON AREA TURF-IRRIGTN	*	989.05	
6/02/20	ON 11747	202006	320-53800-46500				IRRIGATION REPAIRS-DEHAVN	*	266.65	
6/23/20	00043	6/17/20	12158865	202006	320-53800-46800		PEST CONTROL - JUN20	*	50.00	21,110.85 001983
6/23/20	00001	6/08/20	546	202005	320-53800-46000		WALKING TRAIL GRINDING	*	950.00	50.00 001984
6/08/20	547	202006	320-53800-46000				GRINDING WALKING TRAIL	*	1,890.00	
6/23/20	00025	6/19/20	92091	202005	310-51300-31500		REVIEW/AGENDA/BOS MTG	*	1,757.50	2,840.00 001985
6/03/20	352372	202006	320-53800-46300				JUMBO STICKS 50LB	*	159.95	1,757.50 001986
6/22/20	0317992	202005	310-51300-31100				PROF ENGINEER SRVC MAY20	*	102.66	159.95 001987
4/24/20	ON 10596	202004	320-53800-46500				INSTALL RAINBIRD DECODERS	*	2,586.10	102.66 001988
5/15/20	ON 11334	202005	320-53800-46200				LANDSCAPE-COLONIAL-MAY20	*	3,162.00	
5/15/20	ON 11334	202005	320-53800-46200				LANDSCAPE-SHARED-MAY20	*	3,162.00	
5/15/20	ON 11334	202005	320-53800-46200				LANDSCAPE MAINT - MAY20	*	17,688.91	
6/05/20	ON 11990	202006	320-53800-46500				REPLACE RAINBIRD DECODER	*	265.53	

RANDAL PARK IAGUILAR

BANK A RANDAL PARK CDD  
 VENDOR NAME  
 SUBCLASS  
 SUB  
 INVOICE TO...  
 DATE INVOICE YRMO DFT ACCT# SUB

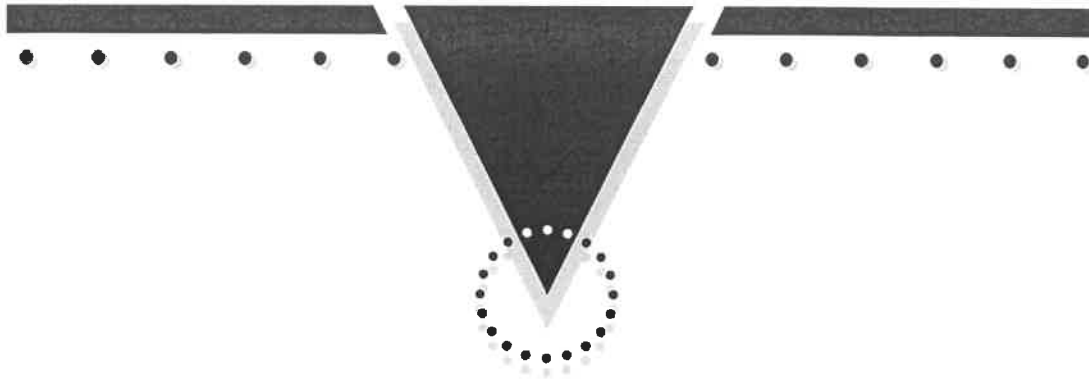
CHECK DATE	VEND#	INVOICE DATE	YRMO	DFT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK #
6/15/20		ON 12233	202006		320-53800	-46200		LANDSCAPE-COLONIAL-JUN20	*	3,162.00	
6/15/20		ON 12233	202006		320-53800	-46200		LANDSCAPE-SHARED-JUN20	*	3,162.00	
6/15/20		ON 12233	202006		320-53800	-46200		LANDSCAPE MAINT - JUN20	*	17,688.91	

YELLOWSTONE LANDSCAPE-SOUTHEAST, LLC  
 50,877.45 001989

TOTAL FOR BANK A 104,332.67  
 TOTAL FOR REGISTER 104,332.67

RAND RANDAL PARK IAGUIAR

## SECTION 2



# Randal Park Community Development District

Unaudited Financial Reporting  
June 30, 2020



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**RANDAL PARK**  
**COMMUNITY DEVELOPMENT DISTRICT**  
**COMBINED BALANCE SHEET**  
**For The Period Ending June 30, 2020**

Governmental Fund

<i>Assets</i>	<u>General</u>	<u>Capital Reserves</u>	<u>Debt Service</u>	<u>Capital Projects</u>	<u>Totals</u>
Cash	\$581,243	---	---	---	\$ 581,243
Cash - Debit Card	\$2,479	---	---	---	\$ 2,479
<i>Investments</i>					
Custody Account	-----	\$287,826	-----	-----	\$287,826
Bond Series - 2012					
Reserve	-----	-----	\$401,383	-----	\$401,383
Revenue	-----	-----	\$338,365	-----	\$338,365
Interest	-----	-----	\$52	-----	\$52
Principal	-----	-----	\$17	-----	\$17
Prepayment	-----	-----	\$1	-----	\$1
Bond Series - 2015					
Reserve	-----	-----	\$598,783	-----	\$598,783
Revenue	-----	-----	\$457,590	-----	\$457,590
Interest	-----	-----	\$10	-----	\$10
Construction	-----	-----	-----	\$437	\$437
Bond Series - 2018					
Reserve	-----	-----	\$58,888	-----	\$58,888
Cap Interest	-----	-----	\$2,538	-----	\$2,538
Revenue	-----	-----	\$43,240	-----	\$43,240
Construction	-----	-----	-----	\$48	\$48
Cost of Issuance	-----	-----	-----	\$7	\$7
Due from Colonial Properties	\$15,728	-----	-----	-----	\$15,728
Due from Capital Reserve	\$42,225	-----	-----	-----	\$42,225
Due From General Fund	-----	-----	\$15,998	-----	\$15,998
<b>Total Assets</b>	<b>\$641,676</b>	<b>\$287,826</b>	<b>\$1,916,866</b>	<b>\$491</b>	<b>\$2,846,860</b>
 <i>Liabilities</i>					
Accounts Payable	\$2,465	-----	-----	-----	\$2,465
Due to General Fund	-----	\$42,225	-----	-----	\$42,225
Due to Debt Service	\$15,998	-----	-----	-----	\$15,998
 <i>Fund Equity</i>					
<i>Fund Balances</i>					
Unassigned Fund Balance	\$623,213	\$245,602	-----	-----	\$868,814
Restricted for Debt Service - 2012	-----	-----	\$745,605	-----	\$745,605
Restricted for Debt Service - 2015	-----	-----	\$1,064,893	-----	\$1,064,893
Restricted for Debt Service - 2018	-----	-----	\$106,369	-----	\$106,369
Restricted for Capital Projects - 2015	-----	-----	-----	\$437	\$437
Restricted for Capital Projects - 2018	-----	-----	-----	\$55	\$55
<b>Total Liabilities &amp; Fund Equity</b>	<b>\$641,676</b>	<b>\$287,826</b>	<b>\$1,916,866</b>	<b>\$491</b>	<b>\$2,846,860</b>



# RANDAL PARK COMMUNITY DEVELOPMENT DISTRICT

## GENERAL FUND

### Statement of Revenues & Expenditures

For The Period Ending June 30, 2020

	Adopted Budget	Prorated Budget Thru 06/30/20	Actual Thru 06/30/20	Variance
<b>Revenues:</b>				
Assessments - Tax Collector	\$963,338	\$963,338	\$973,587	\$10,249
Colonial Properties Contributions	\$46,221	\$34,666	\$35,149	\$483
Miscellaneous Revenue	\$1,000	\$750	\$595	(\$155)
Miscellaneous Revenue - Activities	\$7,000	\$5,250	\$2,762	(\$2,488)
Rentals	\$7,000	\$5,250	\$5,600	\$350
<b>Total Revenues</b>	<b>\$1,024,559</b>	<b>\$1,009,254</b>	<b>\$1,017,692</b>	<b>\$8,439</b>
<b>Expenditures:</b>				
<b>Administrative</b>				
Supervisor Fees	\$12,000	\$9,000	\$3,400	\$5,600
FICA Expense	\$900	\$675	\$260	\$415
Annual Audit	\$4,500	\$4,500	\$4,200	\$300
Trustee Fees	\$12,500	\$12,500	\$8,500	\$4,000
Dissemination Agent	\$10,500	\$7,875	\$7,875	\$0
Arbitrage	\$1,800	\$1,200	\$1,200	\$0
Engineering	\$10,000	\$7,500	\$2,540	\$4,960
Attorney	\$20,000	\$15,000	\$4,788	\$10,212
Assessment Administration	\$5,000	\$5,000	\$5,000	\$0
Management Fees	\$40,575	\$30,431	\$30,431	\$0
Information Technology	\$2,200	\$1,650	\$750	\$900
Telephone	\$100	\$75	\$0	\$75
Postage	\$550	\$413	\$406	\$6
Insurance	\$5,500	\$5,500	\$5,699	(\$199)
Printing & Binding	\$0	\$0	\$1,148	(\$1,148)
Legal Advertising	\$2,250	\$1,688	\$738	\$950
Other Current Charges	\$350	\$263	\$50	\$213
Office Supplies	\$200	\$150	\$75	\$75
Property Appraiser	\$800	\$800	\$904	(\$104)
Property Taxes	\$250	\$250	\$439	(\$189)
Dues, Licenses & Subscriptions	\$175	\$175	\$175	\$0
<b>Total Administrative</b>	<b>\$130,150</b>	<b>\$104,644</b>	<b>\$78,578</b>	<b>\$26,066</b>

# RANDAL PARK COMMUNITY DEVELOPMENT DISTRICT

## GENERAL FUND

### Statement of Revenues & Expenditures

For The Period Ending June 30, 2020

	Adopted Budget	Prorated Budget Thru 06/30/20	Actual Thru 06/30/20	Variance
<b><u>Maintenance</u></b>				
<b><u>Contract Services</u></b>				
Field Management	\$17,390	\$13,043	\$13,043	(\$0)
Facilities Management-Amenity	\$74,881	\$56,161	\$56,161	\$0
Pool Attendants	\$18,000	\$13,500	\$4,938	\$8,563
Wetland Maintenance	\$9,600	\$7,200	\$0	\$7,200
Mitigation Monitoring	\$2,500	\$1,875	\$0	\$1,875
Landscape Maintenance	\$288,264	\$216,198	\$213,762	\$2,436
Janitorial Services	\$21,000	\$15,750	\$10,413	\$5,337
Pool Maintenance	\$15,330	\$11,498	\$11,502	(\$5)
Lake Maintenance	\$9,600	\$7,200	\$5,960	\$1,240
Pest Control	\$1,100	\$825	\$450	\$375
HVAC Maintenance	\$574	\$431	\$0	\$431
Security Patrol	\$30,000	\$22,500	\$15,796	\$6,704
<b><u>Repairs &amp; Maintenance</u></b>				
Facilities Maintenance	\$29,120	\$21,840	\$20,720	\$1,120
Repairs & Maintenance	\$10,000	\$7,500	\$9,039	(\$1,539)
Operating Supplies	\$5,000	\$3,750	\$4,940	(\$1,190)
Landscape Replacement	\$10,000	\$7,500	\$9,103	(\$1,603)
Pool Repairs & Maintenance	\$5,000	\$3,750	\$2,980	\$770
Irrigations Repairs	\$12,000	\$9,000	\$7,499	\$1,501
Alley Maintenance	\$1,500	\$1,125	\$0	\$1,125
Stormwater Repairs & Maintenance	\$1,500	\$1,125	\$0	\$1,125
Fountain Maintenance	\$3,500	\$2,625	\$2,169	\$456
Fitness Repairs & Maintenance	\$2,000	\$1,500	\$4,270	(\$2,770)
Signs	\$1,000	\$750	\$64	\$686
Pressure Washing	\$10,000	\$7,500	\$1,750	\$5,750
<b><u>Utilities</u></b>				
Utilities - Common Area	\$30,000	\$22,500	\$18,339	\$4,161
Utilities - Amenity Center	\$22,000	\$16,500	\$14,037	\$2,463
Refuse Service	\$2,400	\$1,800	\$1,679	\$121
Streetlighting	\$110,000	\$82,500	\$75,615	\$6,885
<b><u>Amenity Center</u></b>				
Property Insurance	\$31,000	\$31,000	\$29,599	\$1,401
Pool Permit	\$550	\$550	\$505	\$45
Cable TV/Internet/Telephone	\$4,000	\$3,000	\$2,464	\$536
Recreation Center Access Cards	\$1,000	\$750	\$0	\$750
Special Events	\$15,000	\$11,250	\$10,033	\$1,217
Holiday Decorations	\$4,000	\$4,000	\$4,410	(\$410)
Security Monitoring	\$600	\$450	\$280	\$170
Amenity Repair & Maintenance	\$5,000	\$3,750	\$0	\$3,750
Contingency	\$10,000	\$7,500	\$1,673	\$5,827
Capital Reserve	\$80,000	\$0	\$0	\$0
<b>Total Maintenance</b>	<b>\$894,409</b>	<b>\$619,694</b>	<b>\$553,193</b>	<b>\$66,501</b>
<b>Total Expenditures</b>	<b>\$1,024,559</b>	<b>\$724,338</b>	<b>\$631,771</b>	<b>\$92,567</b>
<b>Excess Revenues (Expenditures)</b>	<b>\$0</b>		<b>\$385,921</b>	
<b>Fund Balance - Beginning</b>	<b>\$0</b>		<b>\$237,292</b>	
<b>Fund Balance - Ending</b>	<b>\$0</b>		<b>\$623,213</b>	

**RANDAL PARK  
COMMUNITY DEVELOPMENT DISTRICT**

**CAPITAL RESERVE FUND**

Statement of Revenues & Expenditures  
For The Period Ending June 30, 2020

	Adopted Budget	Prorated Budget Thru 06/30/20	Actual Thru 06/30/20	Variance
<b><u>Revenues:</u></b>				
Transfer In	\$80,000	\$0	\$0	\$0
Interest	\$2,000	\$1,500	\$3,098	\$1,598
<b>Total Revenues</b>	<b>\$82,000</b>	<b>\$1,500</b>	<b>\$3,098</b>	<b>\$1,598</b>
<b><u>Expenditures:</u></b>				
Capital Outlay	\$25,000	\$42,225	\$42,225	\$0
<b>Total Expenditures</b>	<b>\$25,000</b>	<b>\$42,225</b>	<b>\$42,225</b>	<b>\$0</b>
<b>Excess Revenues (Expenditures)</b>	<b>\$57,000</b>		<b>(\$39,127)</b>	
<b>Fund Balance - Beginning</b>	<b>\$257,635</b>		<b>\$284,728</b>	
<b>Fund Balance - Ending</b>	<b>\$314,635</b>		<b>\$245,602</b>	

**RAND AL PARK  
COMMUNITY DEVELOPMENT DISTRICT**

**DEBT SERVICE FUND - SERIES 2012**

Statement of Revenues & Expenditures

For The Period Ending June 30, 2020

	Adopted Budget	Prorated Budget Thru 06/30/20	Actual Thru 06/30/20	Variance
<b>Revenues:</b>				
Assessments - Tax Collector	\$397,350	\$397,350	\$404,446	\$7,096
Interest	\$5,000	\$3,750	\$5,609	\$1,859
<b>Total Revenues</b>	<b>\$402,350</b>	<b>\$401,100</b>	<b>\$410,054</b>	<b>\$8,954</b>
<b>Expenditures:</b>				
Principal Payment - 11/01	\$90,000	\$90,000	\$90,000	\$0
Interest Payment - 11/01	\$152,750	\$152,750	\$152,750	\$0
Interest Payment - 05/01	\$150,163	\$150,163	\$150,163	\$0
<b>Total Expenditures</b>	<b>\$392,912</b>	<b>\$392,913</b>	<b>\$392,913</b>	<b>\$0</b>
<b>Excess Revenues (Expenditures)</b>	<b>\$9,438</b>		<b>\$17,142</b>	
<b>Fund Balance - Beginning</b>	<b>\$311,670</b>		<b>\$728,463</b>	
<b>Fund Balance - Ending</b>	<b>\$321,108</b>		<b>\$745,605</b>	

**RANDAL PARK  
COMMUNITY DEVELOPMENT DISTRICT**

**DEBT SERVICE FUND - SERIES 2015**

Statement of Revenues & Expenditures  
For The Period Ending June 30, 2020

	Adopted Budget	Prorated Budget Thu 06/30/20	Actual Thu 06/30/20	Variance
<b>Revenues:</b>				
Assessments - Tax Collector	\$596,080	\$596,080	\$594,636	(\$1,444)
Interest	\$7,000	\$5,250	\$7,906	\$2,656
<b>Total Revenues</b>	<b>\$603,080</b>	<b>\$601,330</b>	<b>\$602,542</b>	<b>\$1,212</b>
<b>Expenditures:</b>				
Principal Payment - 11/01	\$155,000	\$155,000	\$155,000	\$0
Interest Payment - 11/01	\$213,603	\$213,496	\$213,496	\$0
Interest Payment - 05/01	\$210,309	\$210,203	\$210,203	\$0
<b>Total Expenditures</b>	<b>\$578,911</b>	<b>\$578,699</b>	<b>\$578,699</b>	<b>\$0</b>
<b>Excess Revenues (Expenditures)</b>	<b>\$24,169</b>		<b>\$23,843</b>	
<b>Fund Balance - Beginning</b>	<b>\$439,435</b>		<b>\$1,041,049</b>	
<b>Fund Balance - Ending</b>	<b>\$463,604</b>		<b>\$1,064,893</b>	

**RAND AL PARK  
COMMUNITY DEVELOPMENT DISTRICT**

**DEBT SERVICE FUND - SERIES 2018**

Statement of Revenues & Expenditures  
For The Period Ending June 30, 2020

	Adopted Budget	Prorated Budget Thru 06/30/20	Actual Thru 06/30/20	Variance
<b><u>Revenues:</u></b>				
Assessments	\$117,674	\$117,674	\$118,930	\$1,256
Interest	\$500	\$375	\$830	\$455
<b>Total Revenues</b>	<b>\$118,174</b>	<b>\$118,049</b>	<b>\$119,760</b>	<b>\$1,711</b>
<b><u>Expenditures:</u></b>				
Interest Payment - 11/01	\$44,143	\$44,143	\$44,143	\$0
Principal Payment - 05/01	\$30,000	\$30,000	\$30,000	\$0
Interest Payment - 05/01	\$44,143	\$44,143	\$44,143	\$0
<b>Total Expenditures</b>	<b>\$118,285</b>	<b>\$118,285</b>	<b>\$118,285</b>	<b>\$0</b>
<b>Excess Revenues (Expenditures)</b>	<b>(\$111)</b>		<b>\$1,475</b>	
<b>Fund Balance - Beginning</b>	<b>\$77,778</b>		<b>\$104,893</b>	
<b>Fund Balance - Ending</b>	<b>\$77,667</b>		<b>\$106,369</b>	

**RANDAL PARK  
COMMUNITY DEVELOPMENT DISTRICT**

**CAPITAL PROJECTS FUND - SERIES 2015**

Statement of Revenues & Expenditures  
For The Period Ending June 30, 2020

	Adopted Budget	Prorated Budget Thru 06/30/20	Actual Thru 06/30/20	Variance
<b><u>Revenues:</u></b>				
Interest	\$0	\$0	\$4	\$4
<b>Total Revenues</b>	<b>\$0</b>	<b>\$0</b>	<b>\$4</b>	<b>\$4</b>
<b><u>Expenditures:</u></b>				
Capital Outlay	\$0	\$0	\$0	\$0
<b>Total Expenditures</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>
<b>Excess Revenues (Expenditures)</b>	<b>\$0</b>		<b>\$4</b>	
<b>Fund Balance - Beginning</b>	<b>\$0</b>		<b>\$433</b>	
<b>Fund Balance - Ending</b>	<b>\$0</b>		<b>\$437</b>	

**RAND AL PARK  
COMMUNITY DEVELOPMENT DISTRICT**

**CAPITAL PROJECTS FUND - SERIES 2018**

Statement of Revenues & Expenditures  
For The Period Ending June 30, 2020

	Adopted Budget	Prorated Budget Thru 06/30/20	Actual Thru 06/30/20	Variance
<b><u>Revenues:</u></b>				
Interest	\$0	\$0	\$0	\$0
<b>Total Revenues</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>
<b><u>Expenditures:</u></b>				
Capital Outlay - COI	\$0	\$0	\$0	\$0
Capital Outlay	\$0	\$0	\$0	\$0
<b>Total Expenditures</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>
<b>Excess Revenues (Expenditures)</b>	<b>\$0</b>		<b>\$0</b>	
<b>Fund Balance - Beginning</b>	<b>\$0</b>		<b>\$54</b>	
<b>Fund Balance - Ending</b>	<b>\$0</b>		<b>\$55</b>	



## Randal Park Community Development District

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
<b>Revenues:</b>													
Special Assessments - Tax Collector	\$0	\$44,737	\$310,531	\$506,032	\$43,029	\$42,681	\$12,647	\$6,304	\$7,628	\$0	\$0	\$0	\$973,587
Colonial Properties Contribution	\$3,878	\$3,878	\$3,845	\$3,909	\$3,959	\$3,910	\$3,909	\$3,924	\$3,938	\$0	\$0	\$0	\$38,149
Shade Project Contribution	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Miscellaneous Revenue	\$130	\$0	\$0	\$210	\$135	\$75	\$0	\$45	\$0	\$0	\$0	\$0	\$595
Miscellaneous Revenue - Activities	\$0	\$0	\$1,273	\$535	\$954	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,762
Rentals	\$2,550	\$0	\$0	\$2,750	\$1,000	(\$1,000)	\$300	\$0	\$0	\$0	\$0	\$0	\$5,600
<b>Total Revenues</b>	\$6,358	\$48,615	\$315,649	\$513,436	\$49,076	\$45,666	\$18,955	\$10,272	\$11,565	\$0	\$0	\$0	\$1,017,632
<b>Expenditures:</b>													
<b>Administrative</b>													
Supervisors Fees	\$400	\$600	\$0	\$0	\$800	\$0	\$0	\$800	\$800	\$0	\$0	\$0	\$3,400
FICA Expense	\$31	\$46	\$0	\$0	\$61	\$0	\$0	\$61	\$61	\$0	\$0	\$0	\$260
Annual Audit	\$0	\$0	\$0	\$0	\$2,000	\$0	\$2,200	\$0	\$0	\$0	\$0	\$0	\$4,200
Trustee Fees	\$0	\$0	\$4,000	\$0	\$4,500	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$8,500
Dissemination Agent	\$875	\$875	\$875	\$875	\$875	\$875	\$875	\$875	\$875	\$0	\$0	\$0	\$7,875
Arbitrage	\$0	\$600	\$0	\$0	\$0	\$0	\$0	\$600	\$0	\$0	\$0	\$0	\$1,200
Engineering	\$994	\$388	\$34	\$0	\$340	\$0	\$0	\$680	\$103	\$0	\$0	\$0	\$2,540
Attorney	\$212	\$596	\$155	\$899	\$41	\$763	\$367	\$0	\$1,758	\$0	\$0	\$0	\$4,788
Assessment Administration	\$5,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,000
Management Fees	\$3,381	\$3,381	\$3,381	\$3,381	\$3,381	\$3,381	\$3,381	\$3,381	\$3,381	\$0	\$0	\$0	\$30,431
Information Technology	\$83	\$83	\$83	\$83	\$83	\$83	\$83	\$83	\$83	\$0	\$0	\$0	\$750
Telephone	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Postage	\$31	\$12	\$56	\$47	\$73	\$10	\$117	\$1	\$51	\$0	\$0	\$0	\$406
Insurance	\$5,051	\$0	\$0	\$648	\$0	\$0	\$0	\$1	\$0	\$0	\$0	\$0	\$5,699
Printing & Binding	\$420	\$474	\$34	\$11	\$66	\$50	\$36	\$8	\$48	\$0	\$0	\$0	\$1,148
Legal Advertising	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$738	\$0	\$0	\$0	\$738
Other Current Charges	\$50	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$50
Office Supplies	\$0	\$1	\$3	\$0	\$1	\$1	\$68	\$0	\$0	\$0	\$0	\$0	\$75
Property Appraiser	\$904	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$904
Property Taxes	\$0	\$439	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$439
Dues, Licenses, & Subscriptions	\$175	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$175
<b>Total Administrative</b>	\$17,607	\$7,506	\$8,622	\$5,944	\$11,683	\$5,502	\$7,117	\$6,490	\$7,898	\$0	\$0	\$0	\$78,578

# Randal Park Community Development District

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
<b>Maintenance</b>													
Contract Services	\$1,449	\$1,449	\$1,449	\$1,449	\$1,449	\$1,449	\$1,449	\$1,449	\$1,449	\$0	\$0	\$0	\$13,043
Field Management	\$6,240	\$6,240	\$6,240	\$6,240	\$6,240	\$6,240	\$6,240	\$6,240	\$6,240	\$0	\$0	\$0	\$56,161
Facilities Management	\$688	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$4,938
Pool Attendants	\$23,542	\$23,542	\$23,542	\$23,542	\$23,542	\$24,013	\$24,013	\$24,013	\$24,013	\$0	\$0	\$0	\$213,762
Landscape Maintenance	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Wetland Maintenance	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Mitigation Monitoring	\$1,626	\$1,698	\$945	\$1,381	\$1,096	\$1,091	\$1,282	\$1,295	\$0	\$0	\$0	\$0	\$10,413
Janitorial Services	\$1,278	\$1,278	\$1,278	\$1,278	\$1,278	\$1,278	\$1,278	\$1,278	\$1,278	\$0	\$0	\$0	\$11,502
Pool Maintenance	\$745	\$745	\$745	\$745	\$745	\$745	\$745	\$745	\$0	\$0	\$0	\$0	\$5,960
Lake Maintenance	\$50	\$50	\$50	\$50	\$50	\$50	\$50	\$50	\$50	\$0	\$0	\$0	\$450
Pest Control	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
HVAC Maintenance	\$2,280	\$1,956	\$2,184	\$1,816	\$2,376	\$3,160	\$1,984	\$0	\$0	\$0	\$0	\$0	\$15,796
Security Patrol													
<b>Repairs &amp; Maintenance</b>													
Facilities Maintenance	\$2,240	\$2,240	\$2,240	\$2,240	\$2,240	\$2,240	\$2,427	\$2,427	\$2,427	\$0	\$0	\$0	\$20,720
Repairs & Maintenance	\$75	\$1,100	\$0	\$0	\$243	\$1,090	\$1,090	\$3,069	\$3,353	\$0	\$0	\$0	\$9,039
Operating Supplies	\$629	\$629	\$151	\$551	\$264	\$753	\$512	\$1,365	\$0	\$0	\$0	\$0	\$4,940
Landscape Replacement	\$3,067	\$277	\$5,026	\$119	\$500	\$114	\$0	\$0	\$0	\$0	\$0	\$0	\$9,103
Pool Repairs & Maintenance	\$0	\$0	\$160	\$0	\$262	\$169	\$160	\$0	\$2,230	\$0	\$0	\$0	\$2,980
Irrigation Repairs	\$1,655	\$0	\$0	\$0	\$721	\$995	\$1,010	\$0	\$3,118	\$0	\$0	\$0	\$7,499
Alley Maintenance	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Stormwater Repairs & Maintenance	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Fountain Maintenance	\$100	\$100	\$275	\$100	\$224	\$275	\$100	\$100	\$895	\$0	\$0	\$0	\$2,169
Fitness Repairs & Maintenance	\$3,906	\$0	\$0	\$0	\$0	\$0	\$189	\$175	\$0	\$0	\$0	\$0	\$4,270
Signs	\$0	\$0	\$0	\$0	\$64	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$64
Pressure Washing	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,750	\$0	\$0	\$0	\$0	\$1,750
<b>Utilities</b>													
Utilities - Common Area	\$1,619	\$1,629	\$2,095	\$2,294	\$1,864	\$2,117	\$3,548	\$7,065	\$2,109	\$0	\$0	\$0	\$18,339
Utilities - Amenity Center	\$1,677	\$1,559	\$1,721	\$1,610	\$1,544	\$1,691	\$1,487	\$1,554	\$1,194	\$0	\$0	\$0	\$14,037
Refuse Service	\$188	\$186	\$186	\$186	\$186	\$186	\$186	\$186	\$186	\$0	\$0	\$0	\$1,679
Streetlighting	\$8,379	\$8,379	\$8,379	\$8,379	\$8,420	\$8,420	\$8,420	\$8,420	\$8,420	\$0	\$0	\$0	\$75,615
<b>Amenity Center</b>													
Property Insurance	\$29,599	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$29,599
Pool Permit	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$505	\$0	\$0	\$0	\$0	\$505
Cable TV/Internet/Telephone	\$274	\$274	\$274	\$274	\$274	\$274	\$274	\$274	\$274	\$0	\$0	\$0	\$2,464
Recreation Center Access Cards	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Special Events	\$627	\$1,116	\$6,443	\$71	\$327	\$395	\$1,055	\$0	\$0	\$0	\$0	\$0	\$10,033
Holiday Decorations	\$4,410	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$4,410
Security Monitoring	\$35	\$35	\$35	\$35	\$35	\$35	\$35	\$35	\$0	\$0	\$0	\$0	\$280
Contingency	\$1,055	\$320	\$0	\$250	\$48	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,673
Shade Project Expenses	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Capital Reserve	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
<b>Total Maintenance</b>	<b>\$97,218</b>	<b>\$54,842</b>	<b>\$63,419</b>	<b>\$52,610</b>	<b>\$53,992</b>	<b>\$56,780</b>	<b>\$55,552</b>	<b>\$58,044</b>	<b>\$60,736</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$553,193</b>
<b>Total Expenditures</b>	<b>\$114,825</b>	<b>\$62,348</b>	<b>\$72,041</b>	<b>\$58,555</b>	<b>\$65,874</b>	<b>\$62,282</b>	<b>\$62,679</b>	<b>\$64,534</b>	<b>\$68,634</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$631,771</b>
<b>Excess Revenues (Expenditures)</b>	<b>(\$17,607)</b>	<b>(\$13,733)</b>	<b>\$243,608</b>	<b>\$454,881</b>	<b>(\$16,798)</b>	<b>(\$16,616)</b>	<b>(\$45,824)</b>	<b>(\$54,261)</b>	<b>(\$57,069)</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$385,921</b>

**RANDAL PARK  
COMMUNITY DEVELOPMENT DISTRICT**

**SPECIAL ASSESSMENT RECEIPTS - FY2020**

**TAX COLLECTOR**

Date Received	Dist.#	Gross Assessments Received	Discounts/ Penalties	Commissions Paid	Interest Income	Net Amount Received	2012			2015			2018		
							General Fund	Debt Svc Fund	Total	General Fund	Debt Svc Fund	Total	General Fund	Debt Svc Fund	Total
11/7/19	1	\$ 2,292.32	\$ 120.35	\$ -	\$ -	\$ 2,171.97	\$ 1,011.00	\$ 419.99	\$ 1,430.99	\$ 617.49	\$ 1,053.50	\$ 1,011.00	\$ 123.50	\$ 1,134.50	
11/14/19	2	\$ 44,503.34	\$ 1,780.16	\$ -	\$ -	\$ 42,723.18	\$ 19,886.56	\$ 8,261.24	\$ 28,147.80	\$ 12,146.09	\$ 16,001.71	\$ 19,886.56	\$ 2,429.28	\$ 22,315.84	
11/21/19	3	\$ 53,348.34	\$ 2,133.96	\$ -	\$ -	\$ 51,214.38	\$ 23,839.00	\$ 9,903.16	\$ 33,742.16	\$ 14,560.12	\$ 19,182.04	\$ 23,839.00	\$ 2,912.10	\$ 26,751.10	
12/5/19	4	\$ 371,869.10	\$ 14,874.88	\$ -	\$ -	\$ 356,994.22	\$ 166,171.81	\$ 69,030.82	\$ 235,202.63	\$ 101,492.54	\$ 133,710.09	\$ 166,171.81	\$ 20,299.05	\$ 186,470.86	
12/16/19	5	\$ 81,910.12	\$ 3,276.45	\$ -	\$ 436.94	\$ 79,070.61	\$ 36,805.38	\$ 15,289.63	\$ 52,095.01	\$ 22,479.57	\$ 29,615.44	\$ 36,805.38	\$ 4,496.03	\$ 41,301.41	
12/23/19	6	\$ 240,688.97	\$ 9,627.18	\$ -	\$ -	\$ 231,061.79	\$ 107,553.44	\$ 44,679.67	\$ 152,233.11	\$ 65,690.27	\$ 86,542.84	\$ 107,553.44	\$ 13,138.40	\$ 120,691.84	
1/9/20	7	\$ 1,132,428.31	\$ 45,297.75	\$ -	\$ -	\$ 1,087,130.56	\$ 506,031.88	\$ 210,214.92	\$ 716,246.80	\$ 309,088.43	\$ 407,158.37	\$ 506,031.88	\$ 61,815.33	\$ 567,847.21	
2/13/20	8	\$ 96,292.39	\$ 3,851.74	\$ -	\$ -	\$ 92,440.65	\$ 43,028.79	\$ 17,874.95	\$ 60,903.74	\$ 26,280.64	\$ 34,623.10	\$ 43,028.79	\$ 5,256.27	\$ 48,285.06	
3/12/20	9	\$ 42,031.54	\$ 1,652.32	\$ 671.22	\$ 3,165.91	\$ 42,873.91	\$ 19,956.72	\$ 8,290.39	\$ 28,247.11	\$ 12,188.94	\$ 16,058.17	\$ 19,956.72	\$ 2,437.85	\$ 22,394.57	
3/19/20	10	\$ 50,561.19	\$ 1,742.54	\$ -	\$ -	\$ 48,818.65	\$ 22,723.85	\$ 9,439.90	\$ 32,163.75	\$ 13,879.02	\$ 18,284.73	\$ 22,723.85	\$ 2,775.88	\$ 25,499.73	
4/9/20	11	\$ 27,723.72	\$ 554.49	\$ -	\$ -	\$ 27,169.23	\$ 12,646.59	\$ 5,253.63	\$ 17,900.22	\$ 7,724.14	\$ 10,176.08	\$ 12,646.59	\$ 1,544.87	\$ 14,191.46	
5/18/20	12	\$ 13,697.96	\$ 155.69	\$ -	\$ -	\$ 13,542.27	\$ 6,303.59	\$ 2,618.62	\$ 8,922.21	\$ 3,850.03	\$ 12,772.24	\$ 6,303.59	\$ 770.03	\$ 7,072.27	
6/15/20	13	\$ 15,914.50	\$ -	\$ -	\$ 472.92	\$ 16,387.42	\$ 7,627.93	\$ 3,168.78	\$ 10,796.71	\$ 4,658.90	\$ 15,455.61	\$ 7,627.93	\$ 931.81	\$ 8,387.42	
<b>Totals</b>		\$ 2,173,261.80	\$ 85,067.51	\$ 671.22	\$ 4,075.77	\$ 2,091,598.84	\$ 973,586.55	\$ 404,445.70	\$ 1,378,032.25	\$ 594,636.19	\$ 983,396.06	\$ 973,586.55	\$ 118,930.40	\$ 1,092,516.95	

Assessed on Roll:

% Collected:

101.06%

**RANDAL PARK**  
**COMMUNITY DEVELOPMENT DISTRICT**  
Long Term Debt Report

<b>Series 2012 Special Assessment Bonds</b>	
Interest Rate :	Various (5.75% , 6.125% , 6.875%)
Maturity Date :	11/1/2042
Maximum Annual Debt Service :	\$397,203
Reserve Fund Requirement :	\$397,203
Reserve Fund Balance :	\$401,383
Bonds Outstanding - 09/30/2013	\$5,115,000
Less : November 1, 2013 (Mandatory)	(\$65,000)
Less : November 1, 2014 (Mandatory)	(\$70,000)
Less : November 1, 2015 (Mandatory)	(\$70,000)
Less : November 1, 2016 (Mandatory)	(\$75,000)
Less : November 1, 2017 (Mandatory)	(\$80,000)
Less : November 1, 2018 (Mandatory)	(\$85,000)
Less : November 1, 2019 (Mandatory)	(\$90,000)
<b>Current Bonds Outstanding</b>	<b>\$4,580,000</b>

<b>Series 2015 Special Assessment Bonds</b>	
Interest Rate :	Various (4.25% , 5% , 5.2%)
Maturity Date :	11/1/2045
Maximum Annual Debt Service :	\$596,080
Reserve Fund Requirement :	\$596,080
Reserve Fund Balance :	\$598,783
Bonds Outstanding - 03/18/2015	\$9,055,000
Less : November 1, 2016 (Mandatory)	(\$145,000)
Less : November 1, 2017 (Mandatory)	(\$150,000)
Less : February 1, 2018 (Special Call)	(\$15,000)
Less : November 1, 2018 (Mandatory)	(\$155,000)
Less : November 1, 2018 (Special Call)	(\$20,000)
Less : February 1, 2019 (Special Call)	(\$20,000)
Less : August 1, 2019 (Special Call)	(\$5,000)
Less : November 1, 2019 (Mandatory)	(\$155,000)
<b>Current Bonds Outstanding</b>	<b>\$ 8,390,000</b>

<b>Series 2018 Special Assessment Bonds</b>	
Interest Rate :	Various (4.100% , 4.500% , 5.050% , 5.200%)
Maturity Date :	11/1/2049
Maximum Annual Debt Service :	\$117,674
Reserve Fund Requirement :	\$58,837
Reserve Fund Balance :	\$58,888
Bonds Outstanding - 12/17/2018	\$1,770,000
Less : May 1, 2020 (Mandatory)	(\$30,000)
<b>Current Bonds Outstanding</b>	<b>\$ 1,740,000</b>

**RANDAL PARK  
COMMUNITY DEVELOPMENT DISTRICT**

**SPECIAL ASSESSMENT REVENUE BONDS, SERIES 2015**

Date	Requisition #	Contractor	Description	Requisition
<b>Fiscal Year 2020</b>				
<b>TOTAL</b>				<b>\$0.00</b>
<b>Fiscal Year 2020</b>				
10/1/19		Interest		\$0.70
11/1/19		Interest		\$0.64
12/1/19		Interest		\$0.54
1/1/20		Interest		\$0.54
2/1/20		Interest		\$0.54
3/1/20		Interest		\$0.51
4/1/20		Interest		\$0.28
5/1/20		Interest		\$0.06
6/1/20		Interest		\$0.03
<b>TOTAL</b>				<b>\$3.84</b>
Acquisition/Construction Fund at 10/1/18				\$432.71
Interest Earned thru 06/30/20				\$3.84
Requisitions Paid thru 06/30/20				\$0.00
Remaining Acquisition/Construction Fund				<u>\$436.55</u>

**RANDAL PARK  
COMMUNITY DEVELOPMENT DISTRICT**

**SPECIAL ASSESSMENT REVENUE BONDS, SERIES 2018**

Date	Requisition #	Contractor	Description	Requisition
Fiscal Year 2020				\$0.00
				\$0.00
<b>TOTAL</b>				<b>\$0.00</b>
Fiscal Year 2020				
10/1/19		Interest		\$0.07
11/1/19		Interest		\$0.07
12/1/19		Interest		\$0.06
1/1/20		Interest		\$0.06
2/1/20		Interest		\$0.06
3/1/20		Interest		\$0.05
4/1/20		Interest		\$0.03
5/1/20		Interest		\$0.01
<b>TOTAL</b>				<b>\$0.41</b>
Acquisition/Construction Fund at 12/17/18				\$47.10
Interest Earned thru 06/30/20				\$0.41
Requisitions Paid thru 06/30/20				\$0.00
Remaining Acquisition/Construction Fund				<b>\$47.51</b>

# SECTION 3

**Randal Park Community Development District**  
219 E. Livingston St, Orlando Florida 32801

**Memorandum**

**DATE:** July 17<sup>th</sup>, 2020

**TO:** Jason Showe **via email**  
District Manager

**FROM:** William Viasalyers  
Field Services Manager

**RE:** Randal Park CDD Monthly Managers Report – July 17<sup>th</sup>, 2020

The following is a summary of activities related to the field operations of the Randal Park Community Development District.

**Lakes:**

1. Aquatic contractor continues to work on the lakes addressing any issues present.
2. Yellowstone continues with removing trash from the edge of the lakes during their weekly maintenance.

**Landscaping:**

1. Staff continues to meet with Yellowstone once a week to review landscaping and irrigation concerns.
2. Staff has been working with Yellowstone to review areas throughout the property to repair irrigation. Yellowstone made irrigation repairs to several areas throughout the community.
3. Landscaping enhancement items- Landscaping park 1 with additional sod for failing areas-Mulch complete waiting for sod vendor to supply sod
4. Palm tree pruning-Complete

**Other:**

1. Fountain Repairs-Complete



Should you have any questions please call me at 407-451-4047  
Respectfully,

William Viasalyers